



GRANADA COMMUNITY SERVICES DISTRICT

AGENDA **BOARD OF DIRECTORS** **SPECIAL MEETING at 6:30 p.m.** **REGULAR MEETING at 7:30 p.m.**

Thursday, August 20, 2020

**BECAUSE OF THE SHELTER IN PLACE ORDER FOR
SAN MATEO COUNTY IN RESPONSE TO COVID-19,
THIS MEETING WILL BE HELD VIA TELECONFERENCE
AS PERMITTED BY EXECUTIVE ORDER N-29-20.**

Members of the Public may participate via ZOOM online or by telephone:

Online: Log onto website below, and enter meeting ID#: 940 3393 3943

<https://dudek.zoom.us/j/94033933943>

Password: GCSD

By Telephone: (669) 900-6833 or (929) 205-6099, enter meeting ID#: 940 3393 3943

CALL SPECIAL MEETING TO ORDER AT 6:30 p.m.

<u>ROLL CALL</u>	Directors:	President:	Barbara Dye
		Vice-President:	Matthew Clark
		Director:	Jim Blanchard
		Director:	David Seaton
		Director:	Eric Suchomel
Staff:	General Manager:	Chuck Duffy	
	Legal Counsel:	Bill Parkin	
	Assistant Manager:	Delia Comito	

The Board has the right to take action on any of the items listed on the Agenda. The Board reserves the right to change the order of the agenda items, to postpone agenda items to a later date, or to table items indefinitely.

ADJOURN TO CLOSED SESSION

Board members will convene to a separate conference line for closed session

- 1. Conference with Legal Counsel – Existing Litigation (Government Code Section §54956.9(d)(1)).**
City of Half Moon Bay v. Granada Community Services District and Montara Water and Sanitary District (RPI, Sewer Authority Mid-Coastside) – Santa Clara County Superior Court Case No. 17CV316927.
- 2. Conference with Legal Counsel—Existing Litigation (Government Code §54956.9(d)(1)).**
Saxton v. Granada Community Services District (EEOC No. 550-2020-00699).

RECONVENE TO OPEN SESSION

Report any reportable action taken in Closed Session.

ADJOURN SPECIAL MEETING

CALL REGULAR MEETING TO ORDER AT 7:30 p.m.

ROLL CALL

GENERAL PUBLIC PARTICIPATION

Members of the Public may participate via ZOOM online or by telephone. (See instructions on first page).

ACTION AGENDA

- 1. Consideration of Sewer Connection Permit for the Big Wave Wellness Project Phase I, APN 047-311-060, and Associated Connection Fee Waiver Request from the Applicant.**
Recommendation: To be made by the Board.
- 2. Report on Parks and Recreation Activities.**
 - a. Consideration of process to appoint Parks and Recreation sub-committees and select consultants.**
Recommendation: To be made by the Board.
- 3. Consideration of Resolution Approving Preliminary Amended Reassessments, Order Hearing, and Directing Actions With Respect Thereto, Sewage Treatment Facility Improvements Integrated Financing District.**
Recommendation: Approve the Resolution.
- 4. Consideration of Sewer Authority Mid-Coastside Report.**
Recommendation: For Board Information.

CONSENT AGENDA

5. July 16, 2020 Special and Regular Meeting Minutes.
6. August 2020 Warrants.
7. June 2020 Financial Statements.
8. Assessment District Distribution #2-20/21.
9. LAIF Quarterly Investment Report for June 30, 2020.

COMMITTEE REPORTS

10. Report on seminars, conferences, or committee meetings.

INFORMATION CALENDAR

11. Attorney's Report. (Parkin)
12. General Manager's Report. (Duffy)
13. Administrative Staff Report. (Comito)
14. Engineer's Report. (Kennedy Jenks)
15. Future Agenda Items.

This meeting is accessible to people with disabilities. If you have a disability and require special assistance related to participating in this teleconference meeting, please contact the District at least two working days in advance of the meeting at (650) 726-7093 or via email at dcomito@granada.ca.gov.

Except for records exempt from disclosure under section 6254 of the Public Records Act, all materials distributed for the discussion or consideration of items on the Agenda are disclosable to the public upon request, and shall be made available without delay or at the time of distribution to the Board. Please contact Delia Comito at (650) 726-7093 to request copies of Agenda materials.

GRANADA COMMUNITY SERVICES DISTRICT

AGENDA NOTICE

There are no documents for Closed Session.

ITEM #1

GRANADA COMMUNITY SERVICES DISTRICT

AGENDA MEMORANDUM

To: Board of Directors
From: Delia Comito, Assistant General Manager
Subject: Consideration to Approve Sewer Connection Permit for Big Wave Wellness Center, Phase I, APN 047-311-060 and Fee Waiver Request
Date: August 20, 2020

An application for a sewer connection permit for the Big Wave Wellness Center Phase I, for APN 047-311-060, was received by the District on 06/26/20. The parcel is approximately 14.25 acres, located on Airport Street in unincorporated Princeton-by-the-Sea. Approved by the County on 05/19/15 and amended on 06/06/17, the new construction project is a 54,885 square foot, two-story, mixed-use building designed to provide low income housing for up to thirty-three disabled adults on the second floor, with support service facilities and leasable commercial space covering the first floor.

The District issued a Class 3 Mainline Extension permit on 6/26/19 to provide sewer service to the parcel. To date, construction of the sewer extension has not commenced. This permit will likely come back to the Board for approval, as the applicant intends to re-align the majority of the pipeline from the public right of way to a private lateral on their private property. The applicants have not yet submitted revised plans for this change.

The permit application for the Wellness Center building was forwarded to John Rayner, District Engineer, for review and calculation of the estimated amount of sewer capacity needed for the project. Based on a 75 gpd per resident and .05 gpd for the leasable commercial space, the Engineer calculated that a total of 3,182 gpd of sewer capacity would be needed. The resulting number of capacity units required for the project is 14 ERU's. The permit fees based on 14 ERU's is calculated as follows:

Connection Fees (14 x \$4,700)	\$ 65,800.00
Contingent Assessment (14 x \$8,371.36)	\$117,199.04
Non-contingent Assessment (8 x \$9,234.25) (6 Non-contingent Asmts are already levied)	\$ 73,874.00
Fee Total:	<hr/> \$256,873.04

Pursuant to District regulations, any permit requiring more than two ERU's of sewer capacity must be approved by the Board of Directors. Upon Board approval, final permit approval and issuance would be conditional upon payment of the permit fees. The

applicant has provided the District with the County Building Department “Permit Ready to Issue” notice also required for issuance.

On August 11, the District received a request from Jeff Peck of Big Wave requesting the Board’s consideration to waive or reduce the permit fees on the basis that the project will be serving low-income residents.

The documents attached for this item are as follows:

- Letter dated 06/26/20 from Big Wave
- Completed Sewer Connection Permit Application Form
- Approved Project Plans
- Assessor’s Parcel and GCSD Mainline Maps
- Assessment District Non-contingent Asmt. Verification
- GCSD Letter dated 07/30/20 and Engineer’s Analysis of Wastewater Generation dated 7/9/20
- County Building Dept. *Permit is Ready* Notice
- Letter dated 08/11/20 from Big Wave

JUN 26 2020

Rec'd by: _____



A Live-Work Community for Adults with Disabilities

June 26, 2020

GCSO

Re: Big Wave Sewer Permit Application for Connection Fees

The Wellness Center Phase 1 permit is for a project made up of three parts:

1. Affordable, independent living on the second floor for up to 33 single adults with developmental disabilities. Each resident will have their own bedroom and bathroom. There are not kitchens in the resident space. There is a common kitchen and café on the first floor where the residents will take meals. See Overall Plan, A2.1, Level 2.
2. There is 13,000 sq. ft. on the first floor for a day program for the residents, common space and office space for the residents, a courtyard and the cooking and eating facilities for the residents. The 33 residents will spend 80% their day program time out in the community and working off-site. 20% of the time will be spent at the Day program facility. See Overall Plan, Level 1, A1.1. We anticipate that there will be four employees eight hours per day in the Big Wave/Day Program facilities.
3. There is an additional 8,000 sq. ft on the first floor for commercial businesses. At first these commercial spaces will be rented out as storage. There are stub outs for future bathrooms if we find appropriate businesses to replace storage use. These are unfinished areas designated as "For Lease" on Overall plan, Level 1, A1.1.

Proposed designation

In accordance with GCSO's Ordinance Code we are proposing that the entire Wellness Center first phase be designated as "Non-Residential" which more accurately describes the usage of the Wellness Center.

Wastewater Flow Calculation

San Mateo County multi-residential units without irrigation, with individual kitchens, constructed with older building permits is approximately 50 gallons per person per day. Big Wave Wellness Center Phase 1 does not have individual kitchens and is constructed under the current code requiring low flush toilets, flow restricted shower heads and water efficient fixtures in the central kitchen. Based on these conditions we anticipate flows of approximately 80% of the normal County usage generating an average wastewater flow of 50 gpd x 0.8 x 37 people (33 residents and 4 employees) = 1,480 gpd for the Wellness Center phase 1. We propose that we pay additional connections fees if and when we convert the "For Lease" areas from storage to a business use with a bathroom. Once a tenant Improvement is taken out for these spaces Big Wave will then pay the additional Fee before a permit is issued.

We appreciate GCSO's help in this phase to keep our initial costs as low as possible. Any waiver of fees would help in the Wellness Center's non-profit mission of providing affordable living and opportunity for adults with developmental disabilities.

Sincerely,


Jeff Peck

SEWER PERMIT APPLICATION

Parcel Assessor's Parcel Number(s): 047-311-060 Lot(s): _____ Block: _____

Data: Address/Location: 380 Airport Street Princeton CA

Owner: Name(s) Big Wave Group Phone: 415-999-0145 Fax #: _____
 Address: Po Box 1901 El Granada CA 94018 Cell #: 415-999-0145

Agent: Name(s) Drew Bagdasarian Phone: 415-515-6840 Fax #: _____
 Address: 220 Montgomery St. Suite 1830 SFO Cell #: 415-515-6840

Contractor: Name(s) Half Moon Bay Grading Phone: 650-726-3588 Fax #: _____
 Address: 1780 Higgins Canyon Rd HMB CA 94019 Cell #: _____

Type of Work: (Check one)

New Construction Remodel/Addition _____ Demolition _____ Mainline Ext. _____

Project Description: (Check one)

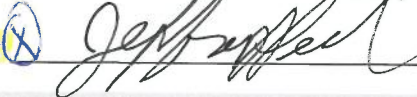
Single Family Dwelling _____ Multiple Unit Residential _____
 In-law Unit/Auxiliary Structure _____ Hotel/Condo/B&B _____
 Commercial Building/Warehouse Mixed Use
 Other _____ Explain: See Attached description

General Information: (Complete applicable sections)

Parcel Sq. Ft.: _____ Structure(s) Sq. Ft.: 50042 Garage Sq. Ft.: _____
 No. of Bedrooms: 33 No. of Baths: 35 No. of Offices: _____
 No. of Living Units: _____ If Mixed Use, what is Living Unit Sq. Ft?: _____
 No. of Trees to be Removed: _____ Is tree removal for lateral placement? _____
 Additional Comments: See Attached Description

In consideration of granting this permit, the undersigned agrees:

1. To accept and abide by all provisions of the Granada Sanitary District Code.
2. To notify the District when the sewer is ready for connection to the sewer main.
3. In the event that all required planning approvals are not final, the application shall be deemed incomplete, and any permit issued may be revoked.
4. To provide the District with the final Building Plans for this project if requested, prior to permit issuance.

Signature:  Print Name: Jeff Peck Date: 6/26/2020

FOR DISTRICT USE ONLY (Please do not write below this line)

<input checked="" type="checkbox"/> Planning Approval Letter <input type="checkbox"/> Grant Deed/Legal Description <input checked="" type="checkbox"/> Application Fee \$ <u>250.-</u> <input type="checkbox"/> Other: _____ <input type="checkbox"/> No. of Connections	<input checked="" type="checkbox"/> Pick up Notice <input type="checkbox"/> Topographical Map <input type="checkbox"/> Is there a ML to serve? <input type="checkbox"/> Is App. Complete? <input checked="" type="checkbox"/> No. of NCA's on parcel	<input checked="" type="checkbox"/> Plans/Elevations <input type="checkbox"/> Agent Form <div style="text-align: center; color: purple;"> Granada Community Services District </div> <div style="text-align: center; color: purple;"> JUN 26 2020 </div> <div style="text-align: right;"> RECEIVED BY: _____ DATE: <u>Rec'd by: DC</u> </div>
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POWER & COMMUNICATIONS

WALL MOUNTED DEVICES

- [Symbol] EQUIPMENT TAG (REFER TO EQUIPMENT SCHEDULE)
- [Symbol] WALL MOUNTED FIRE ALARM STROBE
- [Symbol] FIRE ALARM PULL
- [Symbol] FIRE WARDEN STATION
- [Symbol] WALL MOUNTED, SINGLE RECEPTACLE - CONVENIENCE
- [Symbol] WALL MOUNTED, SINGLE RECEPTACLE - DEDICATED
- [Symbol] WALL MOUNTED, SINGLE RECEPTACLE - SEPARATE
- [Symbol] WALL MOUNTED, DUPLEX RECEPTACLE - CONVENIENCE
- [Symbol] WALL MOUNTED, DUPLEX RECEPTACLE - DEDICATED
- [Symbol] WALL MOUNTED, DUPLEX RECEPTACLE - SEPARATE
- [Symbol] WALL MOUNTED, QUADRAPLEX RECEPTACLE - CONVENIENCE
- [Symbol] WALL MOUNTED, QUADRAPLEX RECEPTACLE - DEDICATED
- [Symbol] WALL MOUNTED, QUADRAPLEX RECEPTACLE - HALF DEDICATED
- [Symbol] WALL MOUNTED, VOICEDATA RECEPTACLE
- [Symbol] WALL MOUNTED, DATA RECEPTACLE
- [Symbol] WALL MOUNTED, VOICE RECEPTACLE
- [Symbol] WALL MOUNTED, THERMOSTAT
- [Symbol] WALL MOUNTED, CABLE TV RECEPTACLE
- [Symbol] WALL MOUNTED, AV RECEPTACLE
- [Symbol] WALL MOUNTED, AV TROUGH
- [Symbol] WALL MOUNTED, ELECTRICAL JUNCTION BOX
- [Symbol] WALL MOUNTED, VOICEDATA JUNCTION BOX
- [Symbol] WALL MOUNTED, SYSTEMS WORKSTATION PANEL POWER INFED
- [Symbol] WALL MOUNTED, SYSTEMS WORKSTATION PANEL VOICEDATA INFED
- [Symbol] WALL MOUNTED, CONDUIT STUB-OUT POWER
- [Symbol] WALL MOUNTED, CONDUIT STUB-OUT VOICE AND DATA
- [Symbol] WALL MOUNTED, CONDUIT STUB-OUT AV
- [Symbol] WALL MOUNTED, PLUG MOLD

ABBREVIATIONS

SECURITY DEVICES

- [Symbol] CARD READER
- [Symbol] CAMERA
- [Symbol] INTERCOM
- [Symbol] REMOTE DOOR RELEASE BUTTON
- [Symbol] MOTION SENSOR
- [Symbol] INTRUSION ALARM
- [Symbol] ELECTRIC DOOR HINGE
- [Symbol] ELECTRICAL DOOR HOLD OPEN
- [Symbol] ELECTRICAL DOOR RELEASE
- [Symbol] ELECTRICAL DOOR MONITOR CONTACT
- [Symbol] DOUBLE DOOR MONITOR CONTACT
- [Symbol] ELECTRIC LOCKSET
- [Symbol] DOOR BELL & UNIT ENTRY
- [Symbol] ELECTRIC KEY SWITCH
- [Symbol] ELECTRIC STRIKE
- [Symbol] MAGNETIC LOCKSET

ENVELOPE USED IN LOAD CALC FOR COMMERCIAL PART:

- SLAB ON GRADE: F-FACTOR & T30
- EXTERIOR WALL: METAL FRAMED WALL WITH R-19 BATT AND R-9 BOARD INSULATION: U=0.2141
- INTERIOR WALL: R9 METAL FRAME U=0.239
- CEILING: U=0.097
- CEILING: U=0.097
- WINDOW PERFORMANCES: U= 0.28; SHGC=0.23

ENVELOPE USED IN LOAD CALC FOR RESIDENTIAL PART:

- EXTERIOR WALL: METAL FRAMED WALL WITH R-19 BATT + R-7.5 BOARD U=0.077
- INTERIOR WALL: METAL FRAMED WALL WITH NO INSULATION U=0.238
- INTERIOR FLOOR: CONCRETE OVER METAL DECK U=0.0861
- ROOF: METAL FRAMED ROOF WITH R-20 BATT INSULATION U=0.037
- WINDOW PERFORMANCES: U= 0.28; SHGC=0.23

GRAPHIC SYMBOLS (CONT.)

SECTION INDICATIONS

- [Symbol] ACOUSTICAL CEILING TILE
- [Symbol] ALUMINUM
- [Symbol] BRICK
- [Symbol] CARPET
- [Symbol] CONCRETE
- [Symbol] CONCRETE MASONRY UNIT
- [Symbol] CUT STONE
- [Symbol] EARTH
- [Symbol] FABRIC WRAPPED PANEL
- [Symbol] GLASS
- [Symbol] GRAVEL
- [Symbol] GYPSUM PLASTER
- [Symbol] INSULATION (LOOSE OR BATT)
- [Symbol] INSULATION (RIGID)
- [Symbol] METAL
- [Symbol] PLASTIC
- [Symbol] PLYWOOD
- [Symbol] PRE-CAST PANELS
- [Symbol] SAND OR GROUT
- [Symbol] STONE
- [Symbol] WOOD (FINISHED)
- [Symbol] WOOD (CONTINUOUS MEMBER)
- [Symbol] WOOD (INTERRUPTED MEMBER)

REFLECTED CEILING

- [Symbol] ACOUSTICAL CEILING AND GRID
- [Symbol] CEILING HEIGHT CHANGE SYMBOL
- [Symbol] FINISH CEILING HEIGHT SYMBOL
- [Symbol] GRID STARTPOINT SYMBOL
- [Symbol] CEILING FINISH TAG
- [Symbol] MOTION SENSOR
- [Symbol] CEILING MOUNTED SPEAKER
- [Symbol] CEILING MOUNTED CAMERA
- [Symbol] CEILING MOUNTED SPRINKLER HEAD
- [Symbol] WALL MOUNTED CO DETECTOR
- [Symbol] CEILING MOUNTED SMOKE DETECTOR
- [Symbol] DOOR BELL & UNIT ENTRY
- [Symbol] CEILING MOUNTED DOOR CHIME
- [Symbol] CEILING MOUNTED STROBE LIGHT
- [Symbol] CEILING MOUNTED EXIT SIGNS
- [Symbol] WALL MOUNTED EXIT SIGNS - PARALLEL
- [Symbol] WALL MOUNTED EXIT SIGNS - PERPENDICULAR
- [Symbol] ACCESS DOOR
- [Symbol] FLORESCENT LIGHT FIXTURE
- [Symbol] FLORESCENT LIGHT FIXTURE / EMERGENCY CIRCUIT
- [Symbol] UNDER CABINET FLORESCENT FIXTURE
- [Symbol] FLORESCENT STRIP FIXTURE
- [Symbol] FLORESCENT PENDANT FIXTURE
- [Symbol] RECESSED DOWNLIGHT
- [Symbol] RECESSED ADJUSTABLE DOWNLIGHT
- [Symbol] RECESSED WALL WASHER
- [Symbol] TRACK LIGHTING
- [Symbol] SURFACE MOUNTED LIGHT FIXTURE
- [Symbol] WALL SCONCE
- [Symbol] LIGHT SWITCH
- [Symbol] DIMMER SWITCH

MECHANICAL FIXTURES

- [Symbol] RETURN AIR
- [Symbol] SUPPLY AIR
- [Symbol] CIRCULAR DIFFUSER
- [Symbol] LINEAR DIFFUSER
- [Symbol] EXHAUST FAN

GRAPHIC SYMBOLS

CONSTRUCTION

- [Symbol] COLUMN GRID REFERENCE NUMBER
- [Symbol] COLUMN GRID LINES AND REFERENCE NUMBER
- [Symbol] 1 HR. RATED PARTITION
- [Symbol] 2 HR. RATED PARTITION
- [Symbol] 3 HR. RATED PARTITION
- [Symbol] 4 HR. RATED PARTITION
- [Symbol] EGRESS PATH PRIMARY
- [Symbol] DETAIL NUMBER
- [Symbol] SHEET NUMBER
- [Symbol] DESCRIPTION OF SIMILAR OR OPPOSITE
- [Symbol] AREA TO BE DETAILED
- [Symbol] LOCATION ON SHEET WHERE ELEVATION IS SHOWN
- [Symbol] DIRECTION OF ELEVATION
- [Symbol] SHEET NUMBER WHERE ELEVATION IS SHOWN
- [Symbol] INTERIOR AND EXTERIOR ELEVATION MARKER
- [Symbol] REVISION REFERENCE NUMBER
- [Symbol] REVISION CLOUD DEPICTING AREA REVISED
- [Symbol] ROOM NAME
- [Symbol] ROOM NUMBER
- [Symbol] SHEETNOTE REFERENCE
- [Symbol] WALL TYPE REFERENCE
- [Symbol] FIRE RATING
- [Symbol] DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)
- [Symbol] WINDOW TYPE (REFER TO WINDOW SCHEDULE)
- [Symbol] MILLWORK REFERENCE NUMBER (REFER TO MILLWORK SCHEDULE)
- [Symbol] ELEVATION DATUM REFERENCE
- [Symbol] FLOOR ELEVATION TRANSITION
- [Symbol] MATCH LINE SEE XXXX
- [Symbol] MATCH LINE SYMBOL
- [Symbol] ALIGN WITH ESTABLISHED / ADJACENT SURFACES
- [Symbol] WALL MOUNTED LIFE SAFETY EQUIPMENT AND DEVICES
- [Symbol] WALL MOUNTED FIRE ALARM STROBE SYMBOL
- [Symbol] FIRE ALARM PULL SYMBOL
- [Symbol] WALL MOUNTED FIRE EXTINGUISHER CABINET
- [Symbol] WALL MOUNTED FIRE EXTINGUISHER
- [Symbol] WALL MOUNTED FIRE HOSE CABINET
- [Symbol] WALL MOUNTED FIRE VALVE
- [Symbol] WALL MOUNTED FIRE VALVE CABINET

CONSTRUCTION NOISE MITIGATION:

NOISE IS MITIGATION MEASURE NOISE-11: CONSTRUCTION NOISE.
 THE CONSTRUCTION CONTRACTOR SHALL IMPLEMENT MEASURES TO REDUCE THE NOISE LEVELS GENERATED BY CONSTRUCTION EQUIPMENT OPERATING AT THE PROJECT SITE DURING PROJECT GRADING AND CONSTRUCTION PHASES. THE CONSTRUCTION CONTRACTOR SHALL INCLUDE IN CONSTRUCTION CONTRACTS THE FOLLOWING REQUIREMENTS OR MEASURES SHOWN IN THE SOLE DISCRETION OF THE COMMUNITY DEVELOPMENT DIRECTOR TO BE EQUALLY EFFECTIVE:

- ALL CONSTRUCTION EQUIPMENT SHALL BE EQUIPPED WITH IMPROVED NOISE MUFFLING AND MAINTAIN THE MANUFACTURER'S RECOMMENDED NOISE ABATEMENT MEASURES, SUCH AS MUFFLERS, ENGINE COVERS, AND ENGINE ISOLATORS IN GOOD WORKING CONDITION.
 - STATIONARY CONSTRUCTION EQUIPMENT THAT GENERATES NOISE LEVELS IN EXCESS OF 65 DBA LEO SHALL BE LOCATED AS FAR AWAY FROM EXISTING RESIDENTIAL AREAS AS POSSIBLE. EQUIPMENT SHALL BE SHELDED FROM NOISE SENSITIVE RECEPTORS BY USING TEMPORARY WALLS, SOUND CURTAINS, OR OTHER SIMILAR DEVICES.
 - HEAVY-DUTY VEHICLE STORAGE AND START-UP AREAS SHALL BE LOCATED A MINIMUM OF 150 FEET FROM OCCUPIED RESIDENCES WHERE FEASIBLE.
 - ALL EQUIPMENT SHALL BE TURNED OFF IF NOT IN USE FOR MORE THAN FIVE MINUTES.
 - DRILLED PILES OR THE USE OF SONIC OR VIBRATORY PILE DRIVERS SHALL BE USED INSTEAD OF IMPACT PILE DRIVERS. THE DRIVING HEADS OF SONIC OR VIBRATORY PILE DRIVERS SHALL BE SCREENED ON ALL SIDES BY ACOUSTIC BLANKETS CAPABLE OF REDUCING NOISE LEVELS BY AT LEAST 15 DBA.
- TEMPORARY BARRIERS, SUCH AS FLEXIBLE SOUND CONTROL CURTAINS, SHALL BE ERECTED BETWEEN THE PROPOSED PROJECT AND THE PILLAR RIDGE MANUFACTURED HOME COMMUNITY TO MINIMIZE THE AMOUNT OF NOISE DURING CONSTRUCTION. THE TEMPORARY NOISE BARRIERS SHALL REDUCE CONSTRUCTION RELATED NOISE LEVELS AT PILLAR RIDGE MANUFACTURED HOME COMMUNITY TO LESS THAN 60 DBA LEO TWO WEEKS PRIOR TO THE COMMENCEMENT OF GRADING OR CONSTRUCTION AT THE PROJECT SITE. NOTIFICATION MUST BE PROVIDED TO ALL OCCUPANTS OF THE PILLAR RIDGE MANUFACTURED HOME COMMUNITY THAT DISCLOSES THE CONSTRUCTION SCHEDULE INCLUDING THE VARIOUS TYPES OF ACTIVITIES AND EQUIPMENT THAT WOULD BE OCCURRING THROUGHOUT THE DURATION OF THE GRADING AND CONSTRUCTION PERIODS. TWO WEEKS PRIOR TO THE COMMENCEMENT OF GRADING OR CONSTRUCTION AT THE PROJECT SITE, AN INFORMATION SIGN SHALL BE POSTED AT THE ENTRANCE TO EACH CONSTRUCTION SITE THAT IDENTIFIES THE PERMITTED CONSTRUCTION HOURS, PER CONDITION 37, AND PROVIDES A TELEPHONE NUMBER TO CALL AND RECEIVE INFORMATION ABOUT THE CONSTRUCTION PROJECT OR TO REPORT COMPLAINTS REGARDING EXCESSIVE NOISE LEVELS. THE PROPERTY OWNER(S) SHALL RESPOND TO ALL RECEIVED COMPLAINTS WITHIN 24 HOURS OF THEIR RECEIPT. THE COUNTY MAY BE REQUIRED TO DETERMINE WHETHER A COMPLAINT IS REASONABLE AND SUBJECT TO BEING RECTIFIED SHOULD THE PROPERTY OWNER(S) CONSIDER A COMPLAINT TO BE UNREASONABLE, THE PROPERTY OWNER(S) SHALL CONTACT THE COUNTY PLANNING DEPARTMENT WITHIN 24 HOURS OF THE RECEIPT OF THE COMPLAINT TO DISCUSS HOW THE COMPLAINT SHOULD BE ADDRESSED.

FAA COMPLIANCE:

MITIGATION MEASURE L13-3
 THE PROPERTY OWNER(S) SHALL COMPLY WITH THE FOLLOWING RECOMMENDATIONS OF THE STATE DEPARTMENT OF TRANSPORTATION DIVISION OF AERONAUTICS: (1) FEDERAL AVIATION ADMINISTRATION (FAA) ADVISORY CIRCULAR 1505376-2E "OPERATIONAL SAFETY ON AIRPORTS DURING CONSTRUCTION" SHALL BE INCORPORATED INTO THE PROJECT DESIGN SPECIFICATIONS; (2) IN ACCORDANCE WITH FEDERAL AVIATION REGULATION, PART 77 "OBJECTS AFFECTING NAVIGABLE AIRSPACE," A NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION (FORM 7460-1) SHALL BE PROVIDED AS REQUIRED BY THE FAA; AND (3) THE LOCATION AND TYPE OF LANDSCAPE TREES SHALL BE SELECTED CAREFULLY SO THEY DO NOT BECOME A HAZARD TO AIRCRAFT AROUND THE AIRPORT. EVIDENCE OF COMPLIANCE WITH THESE REQUIREMENTS SHALL BE SUBMITTED FOR THE REVIEW AND APPROVAL OF THE COUNTY DEPARTMENT OF PUBLIC WORKS PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT FOR PROJECT STRUCTURES.

VICINITY MAP



VICINITY MAP



FIRE DEPARTMENT NOTES:

FIRE HYDRANT:
 A. APPROVED FIRE HYDRANT (FLOW 2000) IS REQUIRED.
 B. HYDRANT TO PROVIDE MINIMUM 1,500 GPM AT 20 LB/SQ IN. FOR MINIMUM OF 2 HOURS.
 C. LOCAL WATER PURVEYOR TO PROVIDE DOCUMENTATION THAT THE SYSTEM WILL MEET THE MINIMUM FIRE FLOW REQUIRED.

FIRE SPRINKLER HARDWARE:
 A. INDICATOR VALVE, FIRE DEPARTMENT CONNECTION AND EXTERIOR BELL REQUIRED.
 B. SEE CIVIL PLANS FOR REQUIRED FIRE ACCESS ROADS AS REQUIRED.
 C. AUTOMATIC FIRE SPRINKLER SYSTEM NFPA 13

EMERGENCY BUILDING ACCESS:
 A. FIRE CHIEF TO DICTATE LOCATION OF REQUIRED KNOX BOXES.
 B. ALL SECURITY GATE SYSTEMS CONTROLLING VEHICULAR ACCESS SHALL BE EQUIPPED WITH A KNOX BOX AS DETERMINED BY THE FIRE CHIEF.

ADDRESS NUMBERS:
 A. TO BE POSTED AND VISIBLE FROM THE STREET
 B. BUILDING ADDRESS NUMBER SIZES TO BE MIN 12"
 C. CORRESPONDING INCREASE IN STROKE WIDTH
 D. ROOF COVERING TO BE CLASS "A" BY ASSEMBLY.

EXIT SIGNS:
 A. ILLUMINATION:
 1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED BY TWO ELECTRIC LAMPS OR SHALL BE OF AN APPROVED SELF LUMINOUS TYPE.
 B. POWER SUPPLY:
 1. CURRENT SUPPLY TO ONE OF THE LAMPS FOR EXIT SIGNS SHALL BE PROVIDED BY THE PREMISES WIRING SYSTEM. POWER TO THE LAMP SHALL BE FROM STORAGE OF BATTERIES ON AN ON-SITE GENERATOR SET. SEE ELECTRICAL PLANS.
 C. SIGNAGE:
 1. EXIT SIGNS SHALL BE INSTALLED AT STAIR ENCLOSURES, HORIZONTAL EXITS AND WHERE OTHERWISE NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS. SEE EXIT PLANS SHEET 00-4 & 00-41.

FIRE ALARM SYSTEM - NFPA 72 FIRE ALARM SYSTEM REQUIRED:
 A. NFPA 72 FIRE ALARM SYSTEM SHALL INCLUDE:
 a. FLOW MONITOR
 b. VALVE TAMPER DETECTION
 c. HEAT AND SMOKE DETECTION
 d. EXTERIOR BELL
 e. INTERIOR HORNS AND STROBES
 f. FIRE ALARM SYSTEM TO BE CAPABLE OF SUPPORTING VISIBLE ALARM NOTIFICATION APPLIANCES (CBC 11B-907.5.2.3.3)
 g. FACT TO BE PROTECTED WITH OR EXCEED REQUIREMENTS FOR AMP-HOUR RATINGS AND MUST BE TESTED AS PER MANUFACTURERS SPECIFICATIONS AND NFPA 72.
 h. BATTERY BACKUP SHALL MEET OR EXCEED REQUIREMENTS FOR AMP-HOUR RATINGS AND MUST BE TESTED AS PER MANUFACTURERS SPECIFICATIONS AND NFPA 72.

VEGETATION MANAGEMENT (LRA)
 A. 2016 CALIFORNIA FIRE CODE
 a. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE BY DETERMINATION OF THE FIRE MARSHAL.
 b. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD OR DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
 c. REMOVE THAT PORTION OF A NEW OR EXISTING TREES WITHIN 5' OF THE STRUCTURE.

ENGINEERED FIRE SUPPRESSION SYSTEM AND DUCT
 A. THE KITCHEN COOKING AREA SHALL BE PROTECTED AS REQUIRED BY A UL-300 COMPLIANT ENGINEERED FIRE SUPPRESSION SYSTEM AND HOOD AND DUCT GREASE LADEN VAPOR EXTRACTION SYSTEM
 B. KITCHEN AREA SHALL HAVE A LEAST ONE 40 POUND "K" RATED FIRE EXTINGUISHER MOUNTED IN THE PATH OF EGRESS.

COMMUNITY FACILITIES DESIGN:
 A. PROJECT WILL BE REQUIRED TO FORM A COMMUNITIES FACILITIES DISTRICT
 B. CONTACT THE FIRE DISTRICT ADMINISTRATION FOR DETAILED INFORMATION.

PROJECT INFORMATION

- BUILDING ADDRESS:** WELLNESS CENTER: AIRPORT BLVD - PRINCETON BY THE SEA, CA
- ZONING:** UNINCORPORATED SAN MATEO COUNTY
- LOT NUMBER:** APN #047-311-060
- OCCUPANCY TYPES:** OFFICE - B, ASSEMBLY - A2, RESIDENTIAL - R2
- CONSTRUCTION TYPE:** TYPE V-A'
- FIRE PROTECTION:** FULLY SPRINKLED, RESIDENTIAL (R2) SHALL HAVE NFPA 13R BUSINESS (B) OCCUPANCIES TO HAVE A MINIMUM NFPA 13 LIGHT HAZARD ASSEMBLY (A2) OCCUPIED AREAS WILL HAVE A MINIMUM OF AN NFPA 13 ORDINARY GROUP 1 MULTIPURPOSE DRY-CHEMICAL PORTABLE FIRE EXTINGUISHERS TYPE 2A 10BC, 5 LB. CAPACITY, SPACED AT 75'-0" TRAVEL DISTANCE AROUND THE FLOOR.
- SCOPE OF WORK:** NEW MIXED USE FACILITY WITH LOW INCOME HOUSING UNITS ABOVE A GROUND FLOOR OF COMMERCIAL SUPPORT SERVICES AND LEASABLE SPACES. SEE SHEET 00-20 FOR GROSS FLOOR AREAS.
 R2 OCCUPANCY: THE RESIDENTIAL COMPONENT IS PRIVATELY OWNED AND FRANKED AND IS NOT A LICENSED CARE FACILITY.
 A2 OCCUPANCY IS THE DINING ROOM AND KITCHEN / CAFE AND OUTDOOR COURTYARD AREA SERVING THE RESIDENTS.
 B OCCUPANCY: BUSINESS SUITES FOR LEASE ON THE GROUND FLOOR.
- ALL TENANT IMPROVEMENTS TO AREAS DESIGNATED AS "FOR LEASE" SHALL BE SUBMITTED FOR REVIEW AND APPROVAL UNDER SEPARATE PERMIT.
- RELATED PERMITS:** PLANNING APPROVAL #: PLN2013 - 00451
 OFF SITE UTILITIES APP#: BLDG2017 - 01478

CODE REFERENCES

APPLICABLE BUILDING CODES:

- BUILDING CODE:** CALIFORNIA BUILDING CODE - 2016 EDITION WITH LOCAL AMENDMENTS AND STATE AMENDMENTS
- MECHANICAL CODE:** CALIFORNIA MECHANICAL CODE - 2016 EDITION WITH LOCAL AMENDMENTS
- PLUMBING CODE:** CALIFORNIA PLUMBING CODE - 2016 EDITION WITH LOCAL AMENDMENTS
- ELECTRICAL CODE:** CALIFORNIA ELECTRICAL CODE - 2016 EDITION INCLUDING TITLE 24
- ENERGY CODE:** 2016 CALIFORNIA ENERGY CODE, TITLE 24 OF 2016 CALIFORNIA BUILDING CODE
- PLANNING/ZONING CODE:** SAN MATEO COUNTY MUNICIPAL CODE
- ACCESSIBILITY CODE:** 2016 CALIFORNIA BUILDING CODE
- FIRE CODE:** 2016 CALIFORNIA FIRE CODE, THE COASTSIDE FIRE DISTRICT ORDINANCE 2016-01
- GREEN BUILDING STANDARDS:** 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE.

DEFERRED SUBMITTALS

- AUTOMATIC FIRE SPRINKLER SYSTEM NFPA 13. SEE FIRE DEPT. NOTES THIS SHEET.
- FIRE ALARM SYSTEM PER NFPA 72.
 a. LOW VOLTAGE ALARMS & CONTROLS
 b. ANSUL FIRE SUPPRESSION SYSTEM
- FIRE ALARM SYSTEM TO BE CAPABLE OF SUPPORTING VISIBLE ALARM NOTIFICATION APPLIANCES (CBC 11B-907.5.2.3.3)
- COURTYARD IMPROVEMENTS TO PRODUCE A NET CALCULABLE SQUARE FOOTAGE EQUAL TO OR LESS THAN THAT SHOWN ON SHEET 00-30.
- EMERGENCY NOTIFICATION, SPEAKERS VIDEO, AUDIO, SECURITY.
- ELEVATOR SHOP DRAWINGS
- DEFERRED SUBMITTALS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE SUBMITTED, STAMPED AND SIGNED BY THE GENERAL CONTRACTOR, TO BUILDING AND FIRE DEPARTMENTS, THE DEPARTMENT OF PUBLIC WORKS AND ANY OTHER AUTHORITIES HAVING JURISDICTION.
- ALL DEFERRED SUBMITTALS MUST BE REVIEWED FIRST BY THE GENERAL CONTRACTOR, WITH REVIEW STAMPS BY THE ARCHITECT / ENGINEER WITH REVIEW STAMP AND APPROVED BY THE OWNER, PRIOR TO BEING SUBMITTED BY THE GENERAL CONTRACTOR TO BUILDING DEPARTMENT.
- NO DEFERRED ITEM SHALL BE INSTALLED PRIOR TO PROJECT OWNER RECEIVING STAMPED AND SIGNED APPROVALS CITED ABOVE.

PROJECT DIRECTORY

OWNER BIG WAVE, LLC Contact: Jill Peck P. O. Box 1901 El Granada, CA 94019 jpeck@bigwaveproject.com	MEP ENGINEERING ACES ENGINEERING Contact: Tomislav Gordick 3371 Olcott Street Santa Clara, CA 95054 (408) 525-2256 x104 3025@aces.com
OWNER'S REPRESENTATIVE DWS ASSOCIATES Contact: Drew Bhatpatrajan 225 Montgomery Street, Suite 1830 San Francisco, California 94104 (415) 397-4430 drew@dwsoffices.com	LANDSCAPE DESIGN BLUE SKY DESIGN Contact: Ken Coverdale 495 Purisima Way. Half Moon Bay, CA 94019 (650) 728-5999 ken@blueskydesign.com
ARCHITECT SLM Architecture + Design Contact: Steve MacMillan 207 Seventh Ave., #4 San Mateo, CA 94401 (415) 848-7943 slm@slm-ai.com	JOINT TRENCH SUBMITTAL LIGHTHOUSE DESIGN Contact: David Mohler 1781 Wharfedale Drive, Suite 212 Articho, CA 94509 (925) 707-0259 x110 dmohler@lighthouse.com
CIVIL ENGINEER SANDS Engineers/ Surveyors/Planners Contact: Michael Kuykendall, PE 636 3th Street Oakland, CA 94607 (510) 590-3415 mkuykendall@sands.com	FOOD SERVICE CONSULTANT EAST BAY RESTAURANT SUPPLY, Inc. 49 4th Street Oakland, CA 94607 (510) 465-4300
STRUCTURAL ENGINEER UNIVERSAL STRUCTURAL ENG. Contact: Kevin Okane 1660 S. Amphlett Blvd., Suite 335 San Mateo, CA 94402 koke@universalstructuralengineers.com	GEOTECHNICAL ENGINEER Sigma Prime 111 Vassar St. Half Moon Bay, CA 94019 Contact: Charise Kiasick (650) 728-0590 ckiasick@sigmaprime.com

SLM Architecture & Design
 207 Seventh Ave., #4
 San Mateo, CA 94401
 Cell: 415-848-7943
 stevemac@slm-ai.com



WELLNESS CENTER
 Lot 7, Building 1
 APN#: 047-311-060
 Princeton-by-the-Sea, CA

No.	Description	Date
1	AGENCY RESUBMITTAL	04/17/19
2	AGENCY RESUBMITTAL	10/25/19
3	AGENCY RESUBMITTAL	01/24/20
4	AGENCY RESUBMITTAL	05/01/20

First Issue Date: 11/15/2018
 Issue Phase: PERMIT SUBMITTAL
 Sheet Issue: 05/15/2020
 Project Number: 55-60823-A
 Permit Application #: BLD2018-01238

Scale: _____
 Title: **GENERAL PROJECT INFORMATION AND GRAPHIC SYMBOLS**
 Drawing #: _____

GO.00



MONTARA WATER & SANITARY DISTRICT
 Serving the Communities of Montara and Moss Beach
 P.O. Box 370131 Tel: (650) 738-3358
 8888 Cabrillo Highway Fax: (650) 738-8556
 Montara, CA 94037-0131 E-mail: msd@montara.com
 Visit Our Web Site: <http://www.msd.montara.com>

May 10, 2019

John Riddell
 Deputy Fire Marshal
 Coastside Fire Protection District

via electronic mail

RE: Big Wave Project Wellness Center - Fire Flow Requirements

Dear Mr. Riddell,

I am writing this letter on behalf of the Montara Water and Sanitary District (MWSD) to confirm that MWSD water system has sufficient storage to provide the minimum required fire flow of at least 1,500 gallons per minute at a residual pressure at or above 20 pounds per square inch for 4 hours for fire protection at the Big Wave Project, provided Big Wave Project installs the proposed 12-inch-diameter water main extension to deliver said fire flow to the Wellness Center.

Please contact me at (415) 231-5766 if you have any further questions at this time. Thank you.

Sincerely,

Tanya Yurovsky, P.E.
 District Engineer

3 WATER DISTRICT LETTER
 SCALE: 12" = 1'-0"

Jeff Peck
 Big Wave LLC

- 3 -

May 27, 2015

County Airports
 Parks Department
 County Counsel
 City of Half Moon Bay
 Local Agency Formation Commission
 California Coastal Commission
 Montara Water and Sanitary District
 Granada Community Services District
 Midcoast Community Council
 Committee for Green Foothills
 Princeton Citizens Advisory
 MGT/TRA
 Surfider Foundation
 Sierra Club
 League for Coasts Protection
 Scott Holmes
 David J. Byers
 Stephen St. Marie

Jeff Peck
 Big Wave LLC

- 2 -

May 27, 2015

COUNTY OF SAN MATEO
 PLANNING AND BUILDING

County Recorder
 County Auditor
 County Clerk
 County Treasurer
 County Assessor
 County Engineer
 County Geologist
 County Health Officer
 County Jail
 County Planning
 County Public Works
 County Sheriff

May 27, 2015

Jeff Peck
 Big Wave LLC
 P.O. Box 1901
 El Granada, CA 94018

Dear Mr. Peck:

Subject: LETTER OF DECISION
 File Number: PLN 2013-00451
 Location: Airport Street in Princeton-by-the-Sea
 APNs: 047-311-050 and 047-312-040

On May 19, 2015, the San Mateo County Board of Supervisors considered (1) the Certification of an Addendum to the Certified 2010 Big Wave Wellness Center and Office Park Project Draft Environmental Impact Report (EIR) and Final EIR (2010 EIR) for the Big Wave North Parcel Alternative Project (Big Wave NPA Project), pursuant to the California Environmental Quality Act (CEQA); (2) a Use Permit, pursuant to Section 6500 of the Zoning Regulations, for the modern sanitarium component of the Wellness Center, outdoor parking uses in the Airport Overlay (AO) Zoning District, and an Outdoor Boat Storage Use; (3) a Major Subdivision, pursuant to the County Subdivision Regulations, of the north parcel into seven lots and the creation of up to 108, approximately 1,500 sq. ft., business condominium units; (4) a Minor Subdivision, pursuant to the County Subdivision Regulations, of the south parcel into two lots; (5) a Coastal Development Permit, pursuant to Section 9328.4 of the Zoning Regulations, appealable to the California Coastal Commission, for the proposed subdivisions, uses, and improvements; (6) a Design Review Permit, pursuant to Section 6505.3 of the Zoning Regulations, for proposed structures and associated grading; (7) a Grading Permit, pursuant to Section 8600 of the San Mateo County Ordinance Code, to perform 725 cubic yards (cy) of cut for utility trenching and to place 16,400 cy of imported gravel; (8) Adoption of an Ordinance approving the execution of a Development Agreement to allow project construction over 15 years; and (9) Approve the execution of an Affordable Housing Agreement. The project involves the development of the north parcel (APN 047-311-050) with an Office Park, including five buildings containing approximately 155,500 sq. ft. of industrial/office/storage uses, a 3-building Wellness Center consisting of 70,500 sq. ft. of affordable housing and 8-innocent uses with a maximum of 57 bedrooms for a maximum of 50 developmentally disabled (DD) adults and 20 staff and approximately 20,500 sq. ft. of industrial/office/storage uses, and a total of 554 private parking spaces, as well as the development of the south parcel (APN 047-312-040) with a boat storage lot and 92

coastal access public parking spaces. The Office Park and Wellness Center will contain no more than 175,000 sq. ft. of industrial/office/storage uses. The project is proposed on two undeveloped parcels along Airport Street in the unincorporated Princeton-by-the-Sea area of San Mateo County.

Based on information provided by staff and evidence presented at the hearing, the Board of Supervisors denied the appeal and upheld the decision of the Planning Commission to approve the project, making the Findings and adopting the Conditions of Approval, with staff-recommended changes to Condition 65 as discussed at the hearing, included as Attachment A of this letter.

The approval of the Coastal Development Permit is appealable to the California Coastal Commission. Any approved person may appeal this decision to the California Coastal Commission within 18 working days following the Coastal Commission's receipt of the notice of Final Local Decision. A project is considered approved when the appeal period has expired and no appeals have been filed. Please contact the Coastal Commission's North Central Coast District Office at 415/904-5260 for further information concerning the Commission's appeal process.

Additionally, the Board of Supervisors adopted an Ordinance approving the execution of a Development Agreement to allow project construction over 15 years, with staff-recommended changes to Section 5.3 as discussed at the hearing, and approved the execution of an Affordable Housing Agreement. These actions are not appealable to the California Coastal Commission.

Please direct any questions regarding this matter to Camille Leung, Senior Planner, at 650/363-1826 or Email camille.leung@smcgov.org. To provide feedback, please visit the Department's Customer Survey at the following link: <http://www.planningandbuilding.org>

Sincerely,

Janeth Lujan
 Janeth Lujan
 Planning Commission Secretary

Attachment A: Findings and Conditions of Approval

cc: Department of Public Works
 Building Inspection Section
 Environmental Health Division
 County Geologist
 Coastside Fire Protection District



1 LETTER OF DECISION
 SCALE: 12" = 1'-0"

PVD (Kynar 500®) Color	Star Reflectance	UVB Reflectance	Visible Reflectance	Visible Transmittance	Low Glare	UV Radiation	Maintainability	ENERGY STAR®	ENERGY STAR®	ENERGY STAR®	ENERGY STAR®	ENERGY STAR®	ENERGY STAR®	ENERGY STAR®
Antique Copper (E5)	0.32	0.65	32		*		*							
Antique Patina (M1)	0.38	0.65	40		*		*							
Ash Gray (Z5)	0.38	0.66	41		*		*							
Brandywine (P8)	0.25	0.65	24		*		*							
Champagne Metallic (T8)	0.47	0.65	53		*		*							
Classical Green (S6)	0.32	0.66	33		*		*							
Colonial Red (W7)	0.35	0.66	37		*		*							
Copper Penny (W9)	0.45	0.65	50		*		*							
Dark Bronze (S4)	0.30	0.66	30		*		*							
Felt Green (M6)	0.31	0.64	31		*		*							
Galskneif (A1)	0.67	0.14	66		*		*							
Hemlock Green (M7)	0.38	0.65	38		*		*							
Khaki (S8)	0.35	0.67	37		*		*							
Linon White (S1)	0.73	0.86	89		*	*	*		*	*	*	*	*	*
Manassas Brown (S3)	0.30	0.67	31		*		*							
Matte Black (S5)	0.27	0.56	26		*		*							
Medium Bronze (M4)	0.30	0.67	31		*		*							
Metallic Silver (S7)	0.60	0.77	64		*	*	*		*	*	*	*	*	*
Matte Blue (S9)	0.34	0.62	34		*		*							
Matte Blue (S9)	0.34	0.62	34		*		*							
Matte Green (S2)	0.29	0.66	29		*		*							
Old Town Gray (W2)	0.40	0.65	43		*		*							
Old Zinc Gray (W2)	0.42	0.55	48		*		*							
Parchment (W4)	0.41	0.66	45		*		*							
Palma Green (W5)	0.48	0.65	51		*		*							
Patrol Red (T3)	0.46	0.66	52		*		*							
Regal Blue (W3)	0.27	0.66	26		*		*							
River Trail (S9)	0.29	0.66	29		*		*							
Sandstone (M5)	0.34	0.66	33		*		*							
Shale Gray (W3)	0.30	0.65	30		*		*							
Snowdrift White (S8)	0.65	0.80	78		*	*	*		*	*	*	*	*	*
Tahoe Blue (W7)	0.30	0.66	30		*		*							
Taupe (T4)	0.29	0.64	28		*		*							
Terra Cotta (W2)	0.39	0.65	42		*		*							
Weathered Copper (W5)	0.32	0.64	32		*		*							

Metal Sales Branch Locations
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 Denver, CO: 800-283-7663
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 Fontana, CA: 800-782-7953
 Fort Smith, AR: 877-452-3915
 Independence, MO: 800-747-2972
 Jacksonville, FL: 800-304-4419
 Jefferson, OH: 800-321-5833
 Meridianville, NC: 800-228-6119
 Nashville, TN: 800-251-8508
 Rock Island, IL: 800-747-1296
 Ripon, WI: 800-228-5318
 Seattle, WA: 800-431-3470
 Silerburg, NJ: 800-999-7777
 Spokane, WA: 800-572-8505
 Tempe, AZ: 800-542-4415
 Woodland, CA: 800-736-6019

MS metal sales COLOR GUIDE
 manufacturing corporation

PVD (Kynar 500®) Paint System

Snowdrift White (S8)	Linon White (S1)	Weathered Copper (W5)	Parchment (W4)	Taupe (T4)
Khaki (S8)	Medium Bronze (M4)	Weathered Copper (W5)	Manassas Brown (S3)	Dark Bronze (S4)
Ash Gray (Z5)	Old Town Gray (W2)	Old Zinc Gray (W2)	Shale Gray (W3)	Matte Black (S5)
Antique Copper (E5)	Palma Green (W5)	Hemlock Green (M7)	Classical Green (S6)	Fort Green (W9)
Patrol Red (T3)	Terra Cotta (W2)	Colonial Red (W7)	Brandywine (P8)	Silver Trail (S9)
Metallic Silver (S7)	Champagne Metallic (T8)	Manassas Brown (S3)	Copper Penny (W9)	Antique Patina (M1)
Tahoe Blue (W7)	Ocean Blue (S5)	Regal Blue (W3)	Gold Shimmer (E4)	Antique Patina (M1)

Visit www.metal-sales.com for valuable tools and resources.

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All colors carry a 45 year limited paint warranty. Color selections are close representations but are limited by printing and viewing conditions. Actual samples are available by request.

24 GAUGE

Express the true nature of a home's character with **ColorPlus® Technology**

PLANK, PANEL, BATTEN AND SHINGLE COLORS

Window and Entryways Trim	Building Ground Floor	Building Second Floor	Building Third Floor	Building Fourth Floor
Light Blue	Medium Blue	Dark Blue	Very Dark Blue	Black
Light Green	Medium Green	Dark Green	Very Dark Green	Black
Light Yellow	Medium Yellow	Dark Yellow	Very Dark Yellow	Black
Light Gray	Medium Gray	Dark Gray	Very Dark Gray	Black
Light Red	Medium Red	Dark Red	Very Dark Red	Black

Visit www.metal-sales.com for valuable tools and resources.

4 ROOFING GUTTER AND DOWNSPOUT
 SCALE: 12" = 1'-0"

2 SIDING COLORS
 SCALE: 12" = 1'-0"

WELLNESS CENTER



Lot 7, Building 1
 APN#: 047-311-060
 Princeton-by-the-Sea, CA

No.	Description	Date
3	AGENCY RESUBMITTAL	01/24/20

First Issue Date: 11/15/2018
 Issue Phase: PERMIT SUBMITTAL
 Sheet Issue: 1/20/20
 Project Number: 55-16823-A
 Permit Application #: RL2018-02138

Scale:
 Title: LETTER OF DECISION

Drawing #:

G0.01

506.2.4 MIXED-OCCUPANCY, MULTISTORY BUILDINGS.

EACH STORY OF A MIXED-OCCUPANCY BUILDING WITH MORE THAN ONE STORY ABOVE GRADE SHALL INDIVIDUALLY COMPLY WITH THE APPLICABLE REQUIREMENTS OF SECTION 506.1 FOR BUILDINGS WITH THREE OR MORE STORIES ABOVE GRADE PLANE. THE TOTAL BUILDING AREA SHALL BE GIVEN THAT THE AGGREGATE SUM OF THE RATIOS OF THE ACTUAL AREA OF EACH STORY DIVIDED BY THE ALLOWABLE AREA OF SUCH STORIES. DETERMINED IN ACCORDANCE WITH SECTION 506.2 BASED ON THE APPLICABLE PROVISIONS OF SECTION 506.1, SHALL NOT EXCEED THREE, PROVIDED THE AGGREGATE SUM OF THE RATIOS FOR PORTIONS OF MIXED-OCCUPANCY, MULTISTORY BUILDINGS CONTAINING A, E, H, L1 AND R OCCUPANCIES, HIGH-RISE BUILDINGS, AND OTHER APPLICATIONS LISTED IN SECTION 1.11 REGULATED BY THE OFFICE OF THE STATE FIRE MARSHAL, INCLUDING ANY OTHER ASSOCIATED NON-SEPARATED OCCUPANCIES, SHALL NOT EXCEED TWO.

Table with columns: OCCUPANCY, AREA USED, ALLOWABLE AREA, RATIO. Includes sub-tables for COURTYARD and LEVEL 1/2 details.

GROSS AREAS OVERALL - DETAIL (INCLUDING COURTYARD)

Table with columns: Use, Name, Area, Use. Lists areas for LEVEL 1 and LEVEL 2 including ACCESSORY, ASSEMBLY, BUSINESS, UTILITY, and RESIDENTIAL.

GROSS BUILDING AREAS (EXCLUDING COURTYARD)

Table with columns: Level, Number, Name, Use, Area. Lists building areas for LEVEL 1 and LEVEL 2.

2 CBC 506.2.4 SCALE: 1/2" = 1'-0"

Table B105.1(1) REQUIRED FIRE FLOW FOR ONE- AND TWO-FAMILY DWELLINGS, GROUP R-3 AND R-4 BUILDINGS AND TOWNHOUSES. Includes columns for automatic sprinkler system and flow duration.

Table B105.1(2) FIRE FLOW CALCULATION TABLE FOR TABLES B105.1(1) AND B105.2. Includes columns for Type, Area, and Fire Flow.

4 Fire Code Table B105.1 SCALE: 1/2" = 1'-0"

CODE NOTES

USE AND OCCUPANCY CLASSIFICATION: SECTION 303, SECTION 314.4, SECTION 403.2, SECTION 403.3, SECTION 403.4, SECTION 403.5, SECTION 403.6, SECTION 403.7, SECTION 403.8, SECTION 403.9, SECTION 403.10, SECTION 403.11, SECTION 403.12, SECTION 403.13, SECTION 403.14, SECTION 403.15, SECTION 403.16, SECTION 403.17, SECTION 403.18, SECTION 403.19, SECTION 403.20, SECTION 403.21, SECTION 403.22, SECTION 403.23, SECTION 403.24, SECTION 403.25, SECTION 403.26, SECTION 403.27, SECTION 403.28, SECTION 403.29, SECTION 403.30, SECTION 403.31, SECTION 403.32, SECTION 403.33, SECTION 403.34, SECTION 403.35, SECTION 403.36, SECTION 403.37, SECTION 403.38, SECTION 403.39, SECTION 403.40, SECTION 403.41, SECTION 403.42, SECTION 403.43, SECTION 403.44, SECTION 403.45, SECTION 403.46, SECTION 403.47, SECTION 403.48, SECTION 403.49, SECTION 403.50, SECTION 403.51, SECTION 403.52, SECTION 403.53, SECTION 403.54, SECTION 403.55, SECTION 403.56, SECTION 403.57, SECTION 403.58, SECTION 403.59, SECTION 403.60, SECTION 403.61, SECTION 403.62, SECTION 403.63, SECTION 403.64, SECTION 403.65, SECTION 403.66, SECTION 403.67, SECTION 403.68, SECTION 403.69, SECTION 403.70, SECTION 403.71, SECTION 403.72, SECTION 403.73, SECTION 403.74, SECTION 403.75, SECTION 403.76, SECTION 403.77, SECTION 403.78, SECTION 403.79, SECTION 403.80, SECTION 403.81, SECTION 403.82, SECTION 403.83, SECTION 403.84, SECTION 403.85, SECTION 403.86, SECTION 403.87, SECTION 403.88, SECTION 403.89, SECTION 403.90, SECTION 403.91, SECTION 403.92, SECTION 403.93, SECTION 403.94, SECTION 403.95, SECTION 403.96, SECTION 403.97, SECTION 403.98, SECTION 403.99, SECTION 403.100.

DRAWING INDEX

Table with columns: SHEET NO., SHEET TITLE. Lists sheets for PLUMBING, ELECTRICAL, MECHANICAL, and STRUCTURAL.

DRAWING INDEX

Table with columns: SHEET NO., SHEET TITLE. Lists sheets for GENERAL PROJECT INFORMATION, CIVIL, LANDSCAPE, and ARCHITECTURAL.

SLM Architecture & Design 207 Seventh Ave., #4 San Mateo, CA 94401



WELLNESS CENTER Lot 7, Building 1 APN#: 047-311-060 Priceton-by-the-Sea, CA

Table with columns: No., Description, Date. Lists revision history for the drawing.

First Issue Date: 05/22/20 Issue Phase: PERMIT SUBMITTAL Sheet Issue: 05/15/2020 Project Number: 55-16092-3 Permit Application #: BLD2018-02138

Title: CODE ANALYSIS / DRAWING INDEX Scale: Drawing #: 4

Go.10 9/23/2020 9:38:00 AM



WELLNESS CENTER

Lot 7, Building 1
 APN#: 047-311-060
 Priceton-by-the-Sea, CA

No.	Description	Date
1	AGENCY RESUBMITTAL	10/25/19
2	AGENCY RESUBMITTAL	01/24/20
3	AGENCY RESUBMITTAL	05/01/20
4	AGENCY RESUBMITTAL	05/01/20
5	AGENCY SUBMITTAL	05/15/20

First Issue Date: 05/22/2020
 Issue Phase: PERMIT SUBMITTAL
 Sheet Issue: 05/15/2020
 Project Number: 55-160923-A
 Permit Application #: BL02918-02136

Scale: _____
 Title: **BUILDING AREA ANALYSIS**

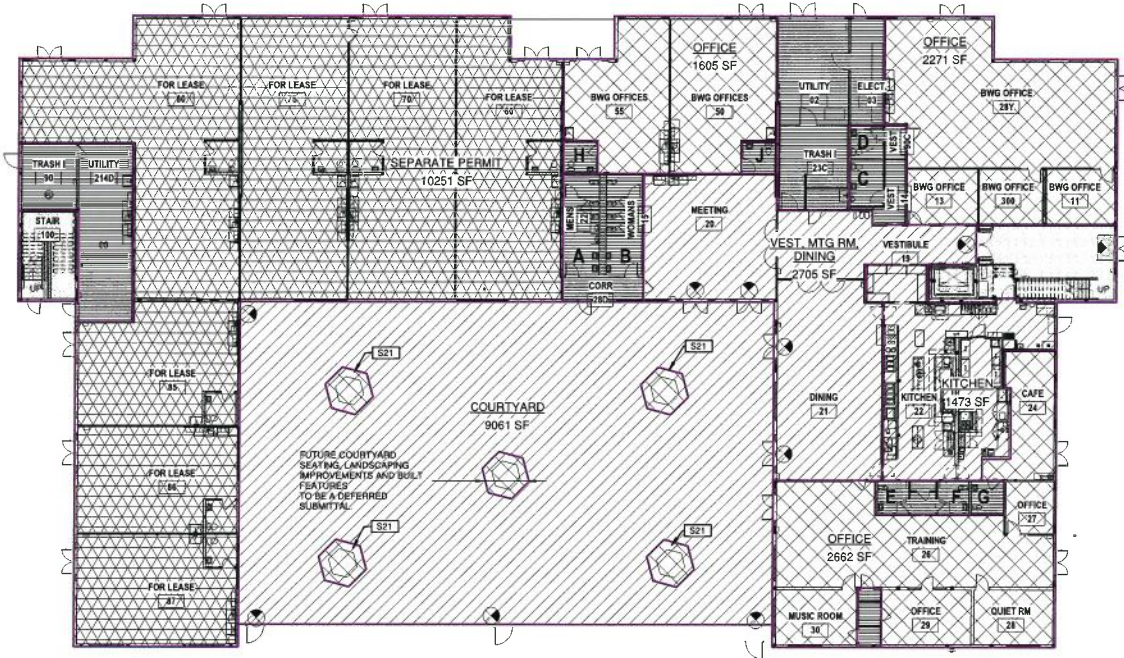
Drawing #: _____

G0.20

MINIMUM PLUMBING FACILITIES PER CPC 2016 TABLE 422.1									
ASSEMBLY A2 PLF: 30 TOTAL AREA = 11,781 S.F. (REQUIRES BUILD FEATURES IN COURTYARD >									
VESTIBULE, MEETING RM., DINING ROOM = 2,706 SF COURTYARD = 9,061 SF	WATER CLOSETS:		URINALS	LAVATORIES		DRINKING FOUNTAIN	OTHER	SERVED BY FACILITIES	
393 PERSONS	MALE	FEMALE	MALE	MALE	FEMALE			A, B	
194 MALE 196 FEMALE:	3: 151-300	4: 101-200	1: 1-200	2: 151-200	2: 151-200				
TOTAL REQUIRED:	3	4	1	2	2	ALTERNATE PER 2016 CPC 465.2		(1) SERVICE SINK	
TOTAL PROVIDED:	3	4	2	2	2				
COMMERCIAL KITCHEN A2: PLF: 200 OLF: 15									
A2: KITCHEN 1,473 SF									
7 PERSONS 4 MALE 4 FEMALE:	1: 1-50	3: 31-50	1: 1-100	1: 1-75	1: 1-50			C	
TOTAL REQUIRED:	(1) ALL GENDER	0	1	1				SHARED SERVICE SINK	
TOTAL PROVIDED:	(1) ALL GENDER	0	1	1					
BWG OFFICE 1: (NORTH) 1,604 SF									
6 PERSONS 4 MALE 4 FEMALE:	1: 1-50	1: 1-15	1: 1-100	1: 1-75	1: 1-50			D	
TOTAL REQUIRED:	(1) ALL GENDER	0	1	1		1 PER 150		SERVICE SINK	
TOTAL PROVIDED:	(2) ALL GENDER	0	1	1					
BWG OFFICE 2: (SOUTH SIDE) 2,271 SF									
12 PERSONS 6 MALE 6 FEMALE:	1: 1-50	1: 1-15	1: 1-100	1: 1-75	1: 1-50			E, F	
TOTAL REQUIRED:	(1) ALL GENDER	0	1	1		1 PER 150		SERVICE SINK	
TOTAL PROVIDED:	(1) ALL GENDER	0	1	1					
BWG CAFE: B OCCUPANCY									
14 PERSONS 7 MALE 7 FEMALE:	1: 1-50	1: 1-15	1: 1-100	1: 1-75	1: 1-50			G	
TOTAL REQUIRED:	(1) ALL GENDER	0	1	1		1 PER 150		SERVICE SINK	
TOTAL PROVIDED:	(3) ALL GENDER	0	1	1					
BWG NORTH OFFICES 1,604 SQ. FT									
14 PERSONS 8 MALE 6 FEMALE:	1: 1-50	1: 1-15	1: 1-100	1: 1-75	1: 1-50			H, J	
TOTAL REQUIRED:	(2) ALL GENDER	0	1	1		1 PER 150		SERVICE SINK	
TOTAL PROVIDED:	(2) ALL GENDER	0	1	1					

2 LEVEL 1 - GROSS BUILDING AREAS

SCALE: 1/16" = 1'-0"



Building Area Legend

- A.G.
- COURTYARD
- DEFERED SUBMITTAL
- KITCHEN
- OFFICE
- SEPARATE PERMIT
- STAIR
- UTILITY
- VEST, MTG RM, DINING

1 PLUMBING LOAD CALCULATIONS

SCALE: 12" = 1'-0"

GROSS AREA - ASSEMBLY			
Level	Name	Use	Area
LEVEL 1	VEST. MTG RM, DINING	ASSEMBLY	2706 SF
Grand total:			2706 SF

GROSS AREA - COURT YARD*			
Level	Name	Use	Area
LEVEL 1	COURTYARD	ASSEMBLY (A-2)	9061 SF
Grand total:			9061 SF

GROSS AREA - LANDSCAPE FEATURES			
Level	Name	Use	Area
LEVEL 1	DEFERED SUBMITTAL	ASSEMBLY	433 SF
Grand total:			433 SF

GROSS AREA - COMMERCIAL FOR LEASE			
Level	Name	Use	Area
LEVEL 1	SEPARATE PERMIT	BUSINESS	10251 SF
Grand total:			10251 SF

* COURTYARD GROSS AREA REQUIRES A DEFERRED SUBMITTAL FOR SEAT WALLS AND LANDSCAPING FEATURES TOTALING 433 S.F. (433 SF SHOWN)

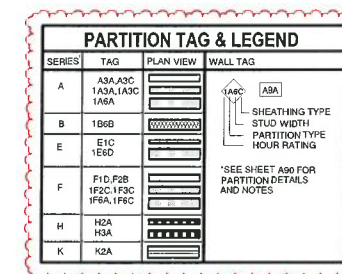
GROSS AREA - KITCHEN			
Level	Name	Use	Area
LEVEL 1	KITCHEN	ASSEMBLY	1473 SF
Grand total:			1473 SF

NET AREA - BUSINESS			
Level	Name	Use	Area
LEVEL 1	OFFICE	BUSINESS	2662 SF
LEVEL 1	OFFICE	BUSINESS	2271 SF
LEVEL 1	OFFICE	BUSINESS	1805 SF
Grand total:			6538 SF

FUTURE T.I. - SEPARATE			
Level	Name	Use	Area
LEVEL 1	SEPARATE PERMIT	BUSINESS	10251 SF
Grand total:			10251 SF

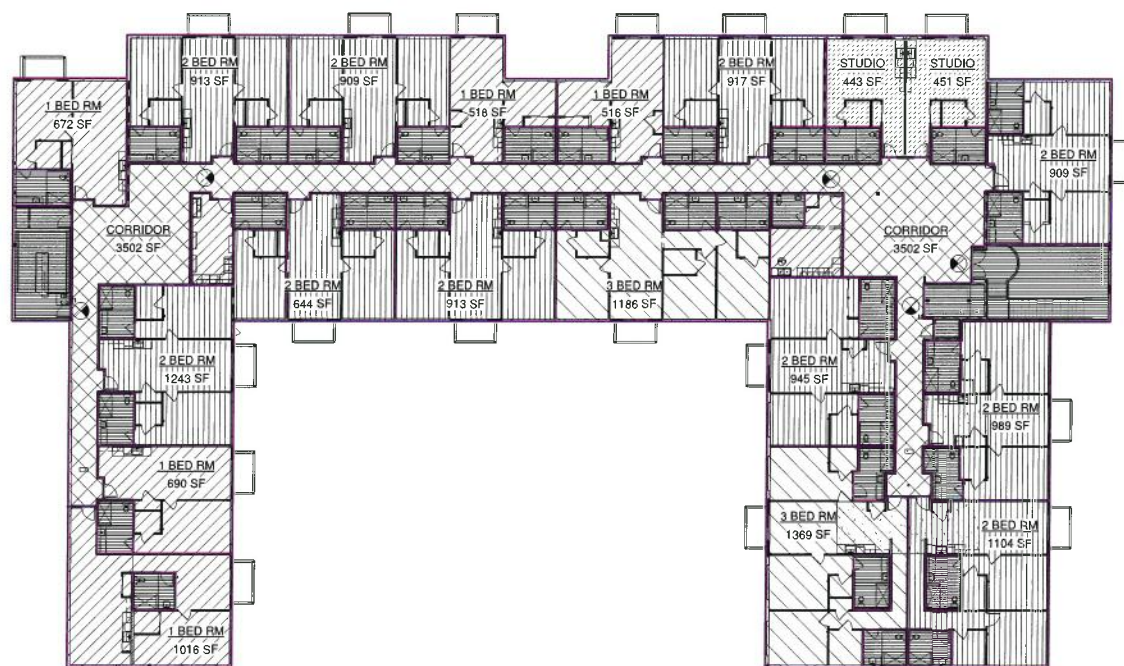
KEYNOTES	
Keynote	Description
S21	BUILT IMPROVEMENTS UNDER DEFERRED SUBMITTAL

GROSS BUILDING AREAS (EXCLUDING COURTYARD)				
Level	Number	Name	Use	Area
LEVEL 1			ACCESSORY	2231 SF
LEVEL 1			ASSEMBLY	4178 SF
LEVEL 1			UTILITY	1623 SF
LEVEL 1			BUSINESS	16789 SF
				25021 SF
LEVEL 2			ACCESSORY	4990 SF
LEVEL 2			RESIDENTIAL	20331 SF
				25021 SF
Grand total:	74			59042 SF



3 LEVEL 2 - GROSS BUILDING AREAS

SCALE: 1/16" = 1'-0"



Building Area Legend

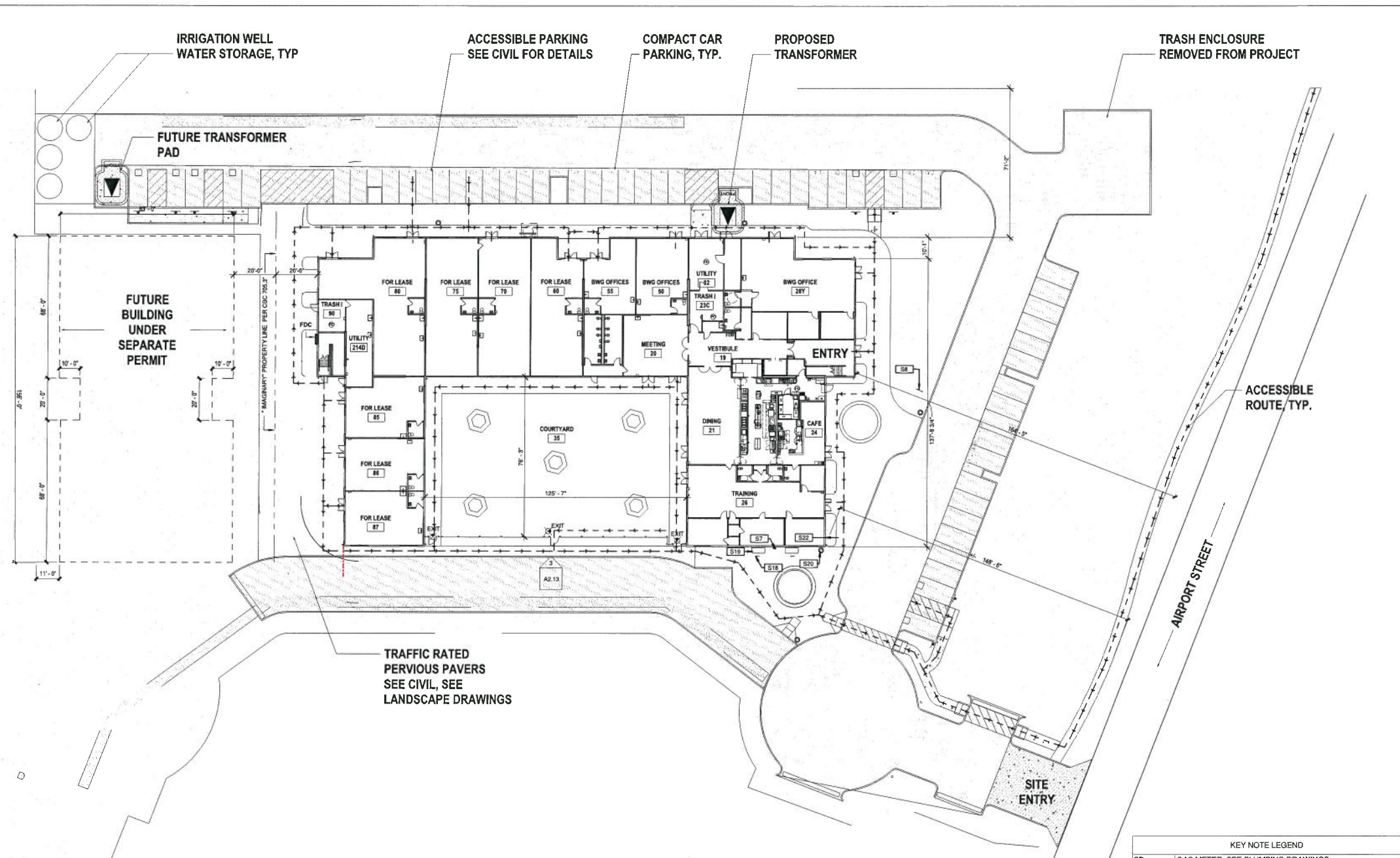
- 1 BED RM
- 2 BED RM
- 3 BED RM
- ACCESSORY
- BATH RM.
- CORRIDOR
- LAUNDRY
- STUDIO





WELLNESS CENTER

Lot 7, Building 1
 APN#: 047-311-060
 Priceton-by-the-Sea, CA

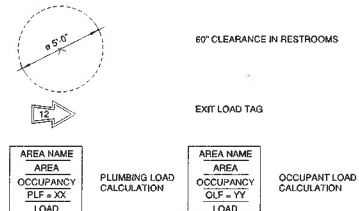
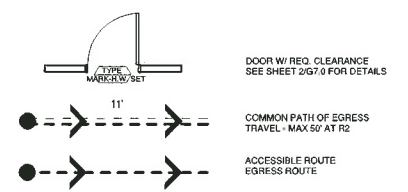


1 SITE ACCESS PLAN
 SCALE: 3/8" = 1'-0"



KEY NOTE LEGEND

S7	GAS METER, SEE PLUMBING DRAWINGS
S8	FIRE DEPARTMENT CONNECTION, SEE CIVIL DRAWINGS
S18	TEMPORARY PARKING BIKE RACKS, TYP.
S19	BICYCLE PARKING FACILITIES
S20	SURFACE MOUNT TRASH RECEPTACLE
S22	BUILDING ADDRESS 12" LETTERS



PARTITION TAG & LEGEND

SERIES	TAG	PLAN VIEW	WALL TAG
A	A3A, A3C A3A, A3C 1A6A	[Symbol]	[Symbol] A3A
B	1B6B	[Symbol]	[Symbol]
E	E1C 1E6D	[Symbol]	[Symbol]
F	F10, F20 1F2C, 1F3C 1F6A, 1F6C	[Symbol]	[Symbol]
H	H2A H3A	[Symbol]	[Symbol]
K	K2A	[Symbol]	[Symbol]

*SEE SHEET A90 FOR PARTITION DETAILS AND NOTES

No.	Description	Date
1	AGENCY RESUBMITTAL	04/17/19
2	AGENCY RESUBMITTAL	1/25/19
4	AGENCY RESUBMITTAL	05/01/20
5	AGENCY SUBMITTAL	05/15/20

First Issue Date: 11/15/2018
 Issue Phase: PERMIT SUBMITTAL
 Sheet Issue: 04/01/19
 Project Number: 55-165823-A
 Permit Application #: BL202018-02139

Scale:
 Title: SITE ACCESS PLAN

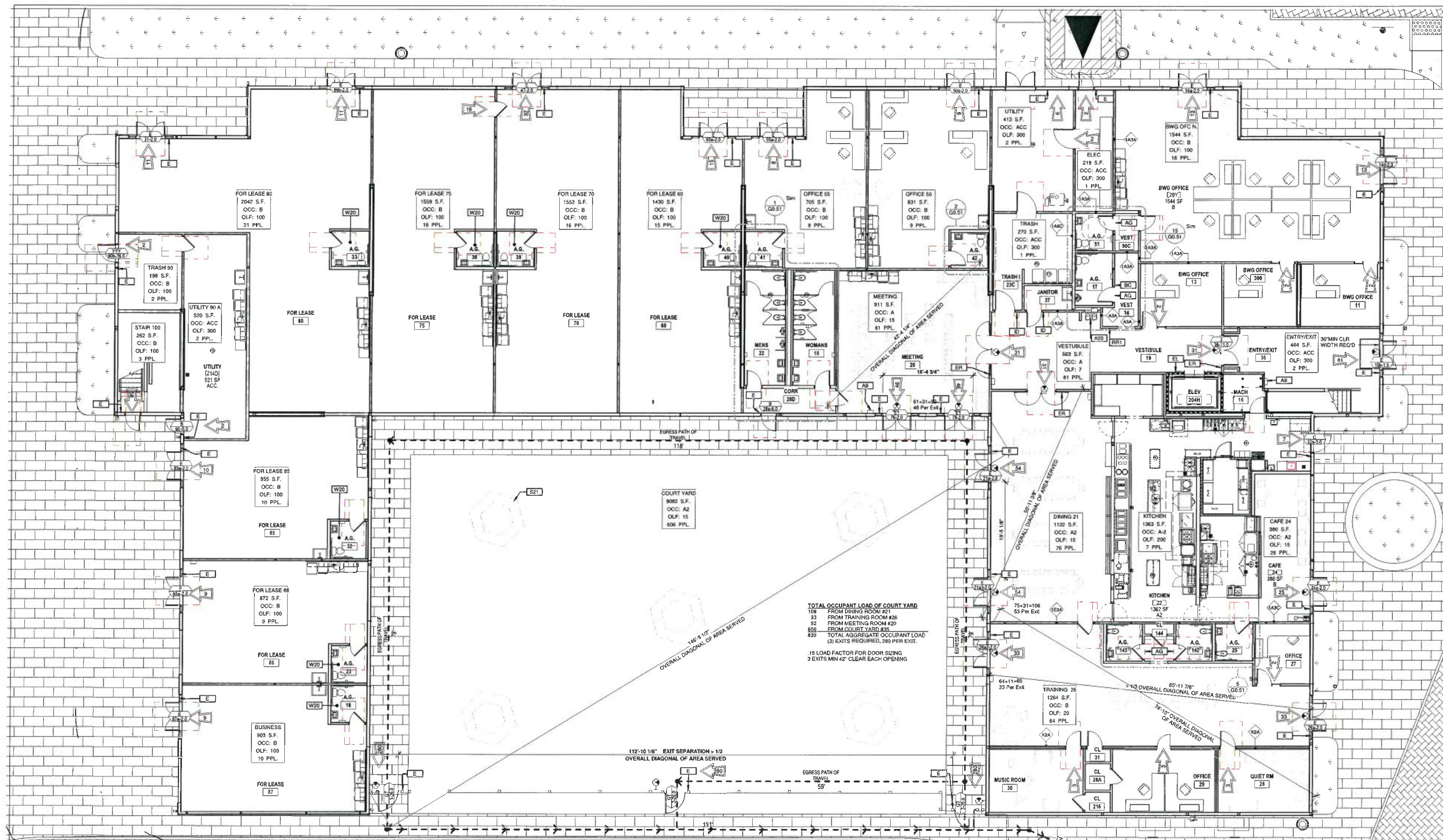
Drawing #:

G0.30



WELLNESS CENTER

Lot 7, Building 1
 APN#: 047-311-060
 Priceton-by-the-Sea, CA



1 LEVEL 1 - EXITING PLAN
 SCALE: 1/8" = 1'-0"

**OCCUPANT LOAD SUMMARY
 BIG WAVE LEVEL 1 - CBC TABLE 1004.1.2**

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	AREA	OCCUPANT LOAD
ASSEMBLY (UNCONCENTRATED)	1-15 NET	DINING, MEETING, COURT YARD,	784
BUSINESS - SMALL ASSEMBLY	1-15 NET	CAFE	25
ASSEMBLY - STANDING ROOM	1-7 NET	LOBBY 19	89
STORAGE / MEP / RESTROOMS ETC.	1-300 GROSS	TRASH, UTILITY, ELEC RM., CLOS., AG, RESTROOMS	26
COMMERCIAL KITCHEN	1-200 GROSS	KITCHEN	7
BUSINESS	1/100 GROSS	OFFICES	63

**DOOR WIDTH CAPACITIES
 EXIT DOORS**

FUNCTION OF SPACE	OCCUPANT LOAD	CAPACITY FACTOR	REQD WIDTH	TOTAL PROVIDED WIDTH	TOTAL REQD WIDTH
DOOR					
STAR WEST	148	0.15	37.5"	42"	42"
STAR EAST	148	0.15	37.5"	60"	42"

CEILING MOUNTED DIRECTIONAL EXIT SIGNAGE
 WALL MOUNTED DIRECTIONAL EXIT SIGNAGE

KEYNOTES

Keynote	Description
A9	FIRE EXTINGUISHER CABINET, SURFACE MOUNTED, SEE SPEC.
A20	ADA HI-LO DRINKING FOUNTAIN
AG	TACTILE SIGN - ALL GENDER RESTROOM, SEE 6/G7.1 FOR DETAIL
BC	TACTILE SIGN - BABY CHANGING STATION, SEE 9/G7.0
E	TACTILE SIGN - EXIT SEE 10/G7.1
EL	TACTILE SIGN - ELEVATOR SEE SHEET G7.1
ER	TACTILE SIGN - EXIT ROUTE SEE 10/G7.1
ID	TACTILE SIGN - ROOM IDENTIFICATION, SEE 4/G7.1
RR1	TACTILE SIGN - GENERAL SIGNAGE - ACCESSIBLE RESTROOMS
S21	BUILT IMPROVEMENTS UNDER DEFERRED SUBMITTAL
S21	RESTROOMS IN LEASE SPACES TO BE BUILT THROUGH TENANT IMPROVEMENT AND DEFERRED SUBMITTAL

- THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE IS OCCUPIED.
- THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.
- THE MEANS OF EGRESS ILLUMINATION SHALL BE SUPPLIED BY BACKUP POWER (CONSISTING OF STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON-SITE GENERATOR) FOR A DURATION OF NOT LESS THAN 90 MINUTES. CBC 1005.3
- PROVIDE A CURRENT 5 YEAR FIRE SPRINKLER CERTIFICATION PRIOR TO OR AT THE TIME OF FINAL INSPECTION.
- PROTRUDING OBJECTS SHALL NOT REDUCE THE MINIMUM CLEAR WIDTH (NET PER CHAPTER 11) OF ACCESSIBLE ROUTES AS REQUIRED IN CHAPTER 11A OR CHAPTER 11B
- ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1/4" AND A MAXIMUM CROSS-SLOPE OF 1/4". DIMENSION WIDE ROUTE WALKS AND SIDEWALKS SHALL BE AT LEAST 48-INCHES WIDE PER CBC 11B-403.5.1. ACCESSIBLE PATH OF TRAVEL SHALL NOT BE INTERRUPTED BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/4 INCH PER CBC 11B-305. PLEASE VERIFY AND NOTE THE REQUIREMENTS ON THE PLANS.

PARTITION TAG & LEGEND

SERIES	TAG	PLAN VIEW	WALL TAG
A	A3A, A3C, A3A, A3C, A3A	[Symbol]	A3A
B	1989	[Symbol]	[Symbol]
E	ETC, 1830	[Symbol]	[Symbol]
F	F1D, F2B, F2C, F3C, F6A, F6C	[Symbol]	[Symbol]
H	H3A, H3A	[Symbol]	[Symbol]
K	K2A	[Symbol]	[Symbol]

SHEATHING TYPE STUD WALL
 PARTITION TYPE HOUR RATING
 *SEE SHEET A40 FOR PARTITION DETAILS AND NOTES

WALL LEGEND
 SCALE: 1/4" = 1'-0"

4 EXIT LOAD SUMMARY - LEVEL 1
 SCALE: 1/2" = 1'-0"

3 EXITING LOAD SUMMARY
 SCALE: 1/2" = 1'-0"

No.	Description	Date
3	AGENCY RESUBMITTAL	01/24/20
5	AGENCY SUBMITTAL	05/15/20

First Issue Date: 11/15/2019
 Issue Phase: PERMIT SUBMITTAL
 Sheet Issue: 08/29/19
 Project Number: 55-16023-A
 Permit Application #: BLD2018-02198

Scale:
 Title: LEVEL 1 - EXITING PLAN

Drawing #:



WELLNESS CENTER

Lot 7, Building 1
 APN#: 047-311-060
 Priceton-by-the-Sea, CA



**OCCUPANT LOAD SUMMARY
 BIG WAVE LEVEL 2 - CBC TABLE 1004.1.2**

OCCUPANCY	OCCUPANT LOAD FACTOR	AREA USE	OCCUPANT LOAD
R2 - RESIDENTIAL - 20,346 S.F.	1/200 GROSS	LIVING UNITS EXIT CORRIDORS COMMON AREAS	102

**STAIR DISCHARGE CAPACITIES
 STAIR WEST - STAIR EAST CBC 1005.3.1**

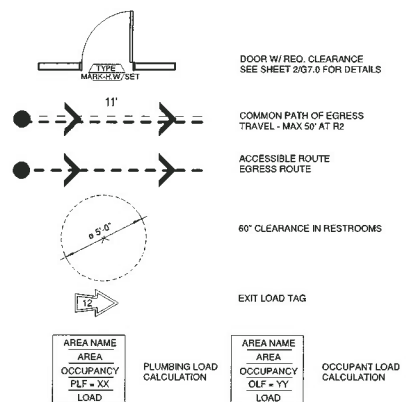
194 x .3 = 22.2" CLEAR MIN. OCCUPANTS

	OCCUPANT LOAD	CAPACITY FACTOR	CALCULATED MIN. WIDTH	MIN REQ'D WIDTH	TOTAL PROVIDED WIDTH
STAIR WEST	102	.3	31"	48"	48"
STAIR EAST	102	.3	31"	48"	48"

2 EXIT LOAD SUMMARY - LEVEL 2
 SCALE: 1/2" = 1'-0"

KEYNOTES

Keynote	Description
ES	TACTILE SIGN - EXIT STAIR SEE SHEET 19/G7.1



PARTITION TAG & LEGEND

SERIES	TAG	PLAN VIEW	WALL TAG
A	A3A, A3C, A3A, A3C, A3A	[Symbol]	A3A
B	1B6B	[Symbol]	[Symbol]
E	1E1C, 1E1D	[Symbol]	[Symbol]
F	1F1D, 1F1B, 1F2C, 1F3C, 1F4A, 1F4C	[Symbol]	[Symbol]
H	H2A, H3A	[Symbol]	[Symbol]
K	K2A	[Symbol]	[Symbol]

*SEE SHEET A30 FOR PARTITION DETAILS AND NOTES

1 LEVEL 2 - OVERALL PLAN EXITING
 SCALE: 1/8" = 1'-0"

No.	Description	Date
2	AGENCY RESUBMITTAL	10/25/19
3	AGENCY RESUBMITTAL	01/24/20
5	AGENCY SUBMITTAL	05/15/20

First Issue Date: 11/15/2016
 Issue Phase: PERMIT SUBMITTAL
 Sheet Issue: 09/03/19
 Project Number: 55-169823-A
 Permit Application #: BLD2016-02136

Scale:
 Title: LEVEL 2 - EXITING PLAN

Drawing #:

G0.41



WELLNESS CENTER

Lot 7, Building 1
 APN#: 047-311-060
 Priceton-by-the-Sea, CA

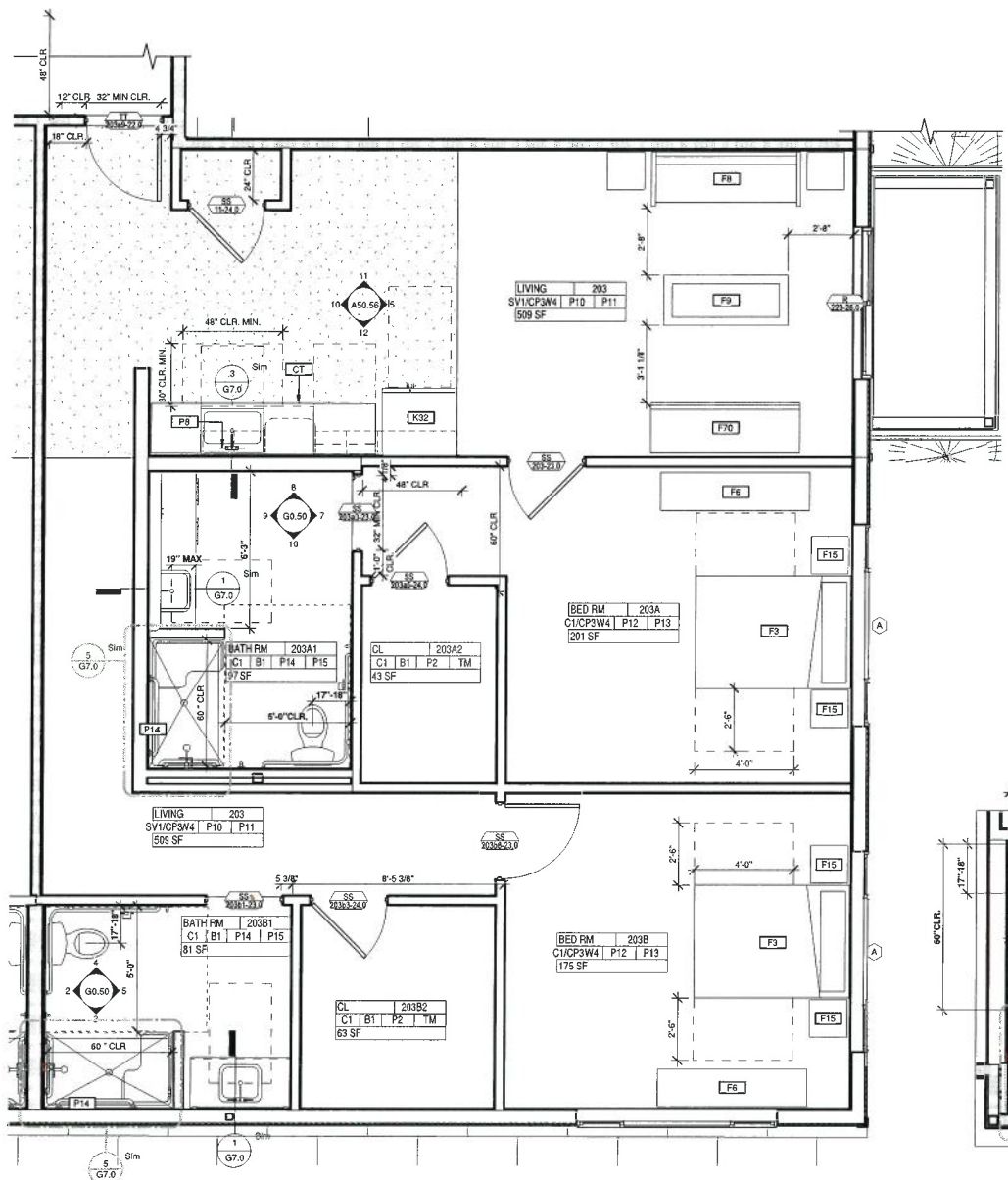
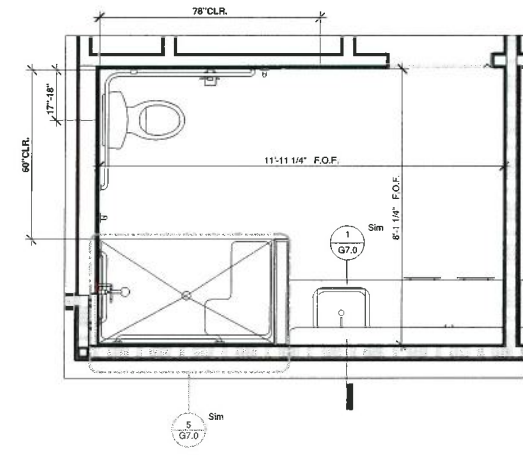
No.	Description	Date
3	AGENCY RESUBMITTAL	01/24/20
4	AGENCY RESUBMITTAL	05/01/20
5	AGENCY SUBMITTAL	05/15/20

First Issue Date: 11/15/2018
 Issue Phase: PERMIT SUBMITTAL
 Sheet Issue: 04/02/19
 Project Number: 55-109823-A
 Permit Application #: BLD2018-02138

Scale:
 Title: ENLARGED PLAN - 2 BED ROOM UNIT
 Drawing #:

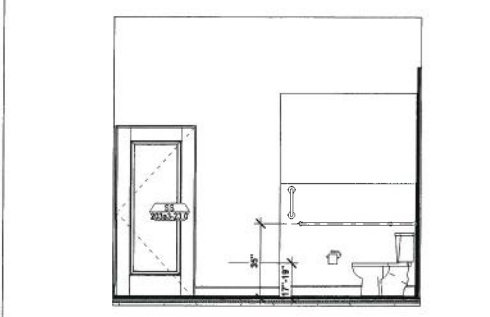
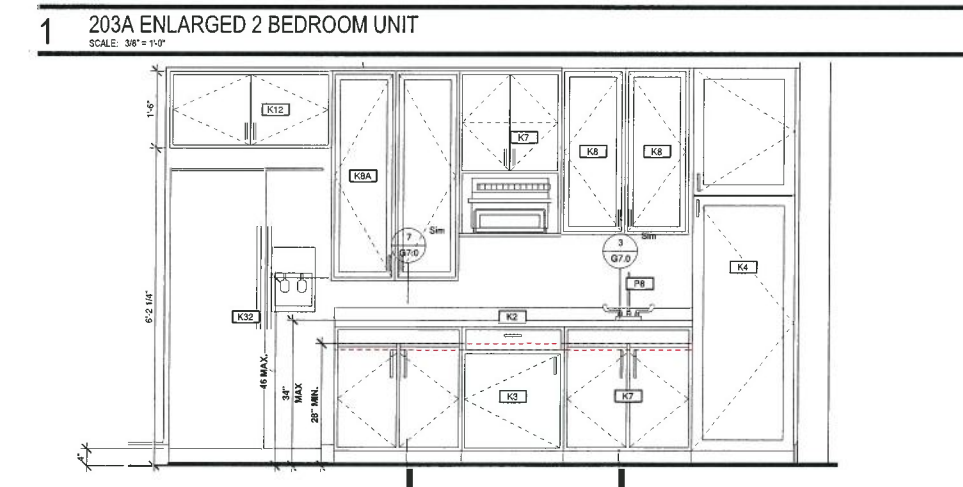
KEY NOTE LEGEND

CT	ADA REPOSITIONABLE KITCHEN COUNTERTOPS, SEE 3/G7.0
F3	QUEEN SIZE BED WITH 2 SIDE TABLES
F6	72"x60"x18" CHEST OF DRAWERS
F8	8' SOFA
F9	COFFEE TABLE
F15	24"x24" SIDE TABLE
F70	6x8 ENTERTAINMENT CENTER
K2	COUNTER TOP W/4" BACKSPASH
K4	CABINETS UNDERCOUNTER
K4	CABINET
K7	FRONT APPROACH SINK SEE CBC FIG 1133A
K8	CABINETS - UPPER
K8A	CABINETS - MAX HT. 44" TO LOWEST SHELF
K12	CABINET - STANDATED UPPERS
K32	REFER/FREEZER TO COMPLY WITH 11B-004.6.6
P8	ACCESSIBLE UTILITY SINK W/PADDLE HANDLE FAUCET
P14	ADA SHOWER, SEE 5/G7.0 FOR DETAILS

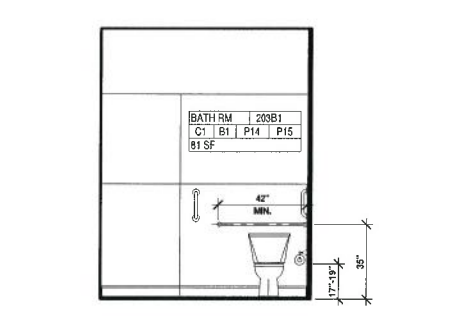


PARTITION TAG & LEGEND

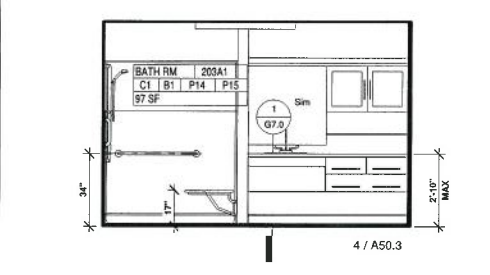
SERIES	TAG	PLAN VIEW	WALL TAG
A	A3A, A3C A3A, A3C A3A	[Symbol]	[Symbol] A3A
B	1B6B	[Symbol]	[Symbol] SHEATHING TYPE STUD WIDTH
E	E1C E2D	[Symbol]	[Symbol] PARTITION TYPE HOUR RATING
F	F10, F2B F2C, F3C F6A, F6C	[Symbol]	[Symbol] *SEE SHEET A90 FOR PARTITION DETAILS AND NOTES
H	H2A H3A	[Symbol]	
K	K3A	[Symbol]	



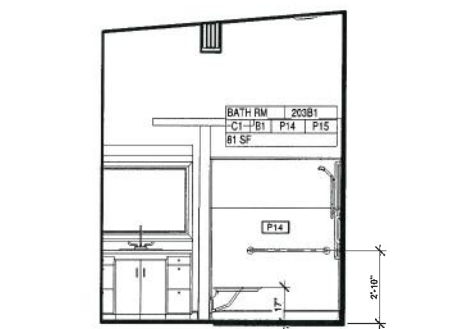
7 203A BATH RM WEST
 SCALE: 3/8" = 1'-0"



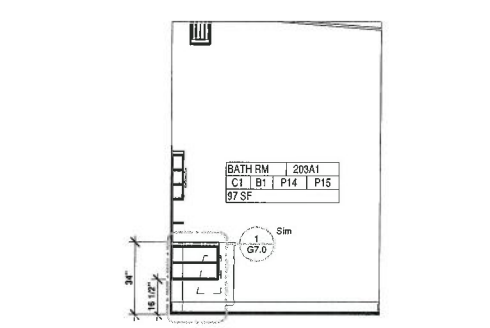
2 203B1 BATH RM EAST
 SCALE: 3/8" = 1'-0"



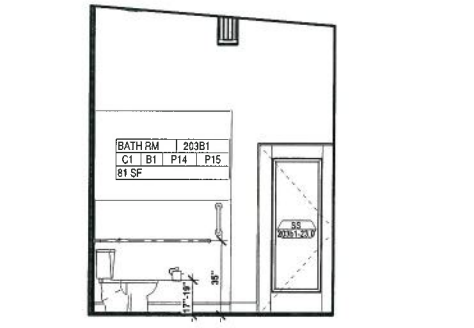
9 203A1 BATH RM EAST
 SCALE: 3/8" = 1'-0"



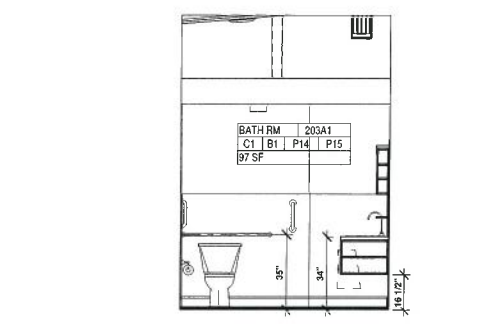
3 203B1 BATH RM NORTH
 SCALE: 3/8" = 1'-0"



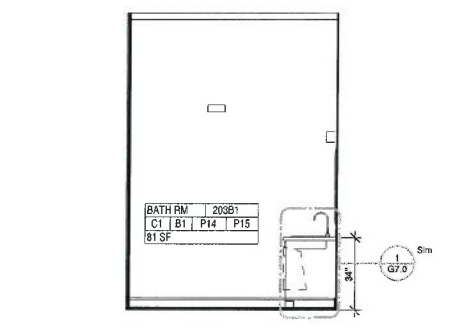
8 203A BATH RM SOUTH
 SCALE: 3/8" = 1'-0"



4 203B1 BATH RM SOUTH
 SCALE: 3/8" = 1'-0"



10 203A BATH RM NORTH
 SCALE: 3/8" = 1'-0"



5 203B1 BATH RM WEST
 SCALE: 3/8" = 1'-0"

12 EFFICIENCY SPACE
 SCALE: 3/8" = 1'-0"

G0.50



WELLNESS CENTER

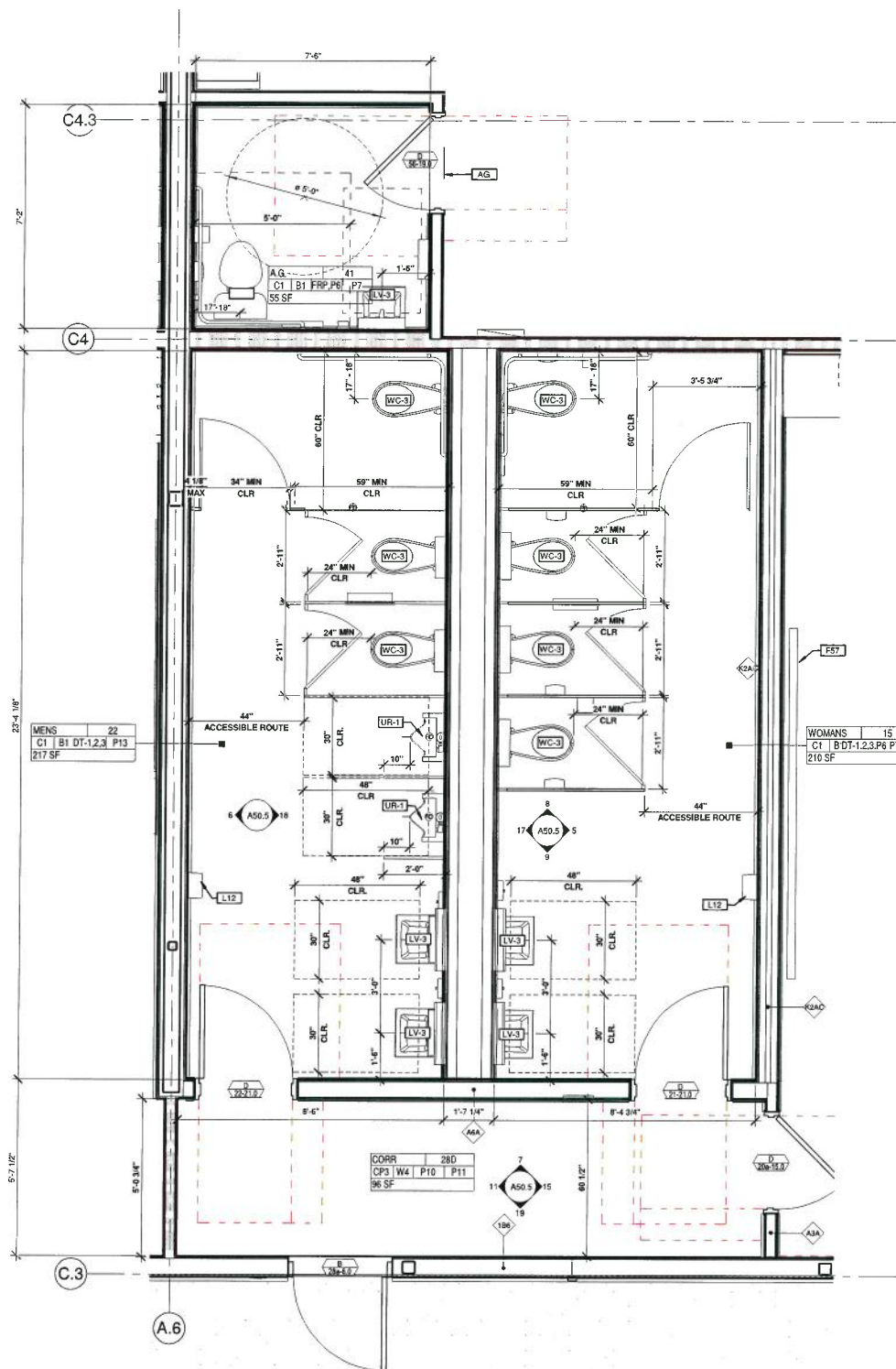
Lot 7, Building 1
 APN#: 047-311-060
 Priceton-by-the-Sea, CA

No.	Description	Date
1	AGENCY RESUBMITTAL	04/17/19
3	AGENCY RESUBMITTAL	07/24/20
4	AGENCY RESUBMITTAL	05/01/20
5	AGENCY SUBMITTAL	05/15/20

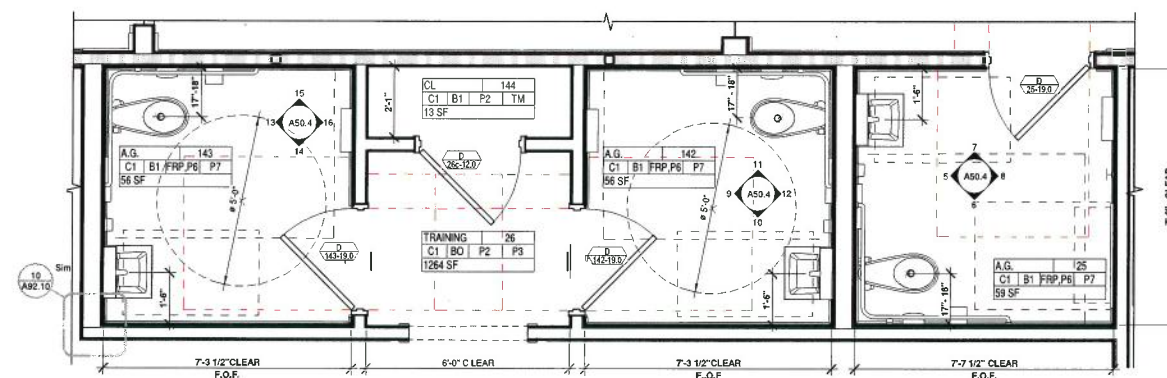
First Issue Date: 11/15/2019
 Issue Phase: PERMIT SUBMITTAL
 Sheet Issue: 01/16/19
 Project Number: 55-10823-A
 Permit Application #: BLD2018-02138

Scale:
 Title: ENLARGED PLANS - L1
 BATHROOMS
 Drawing #:

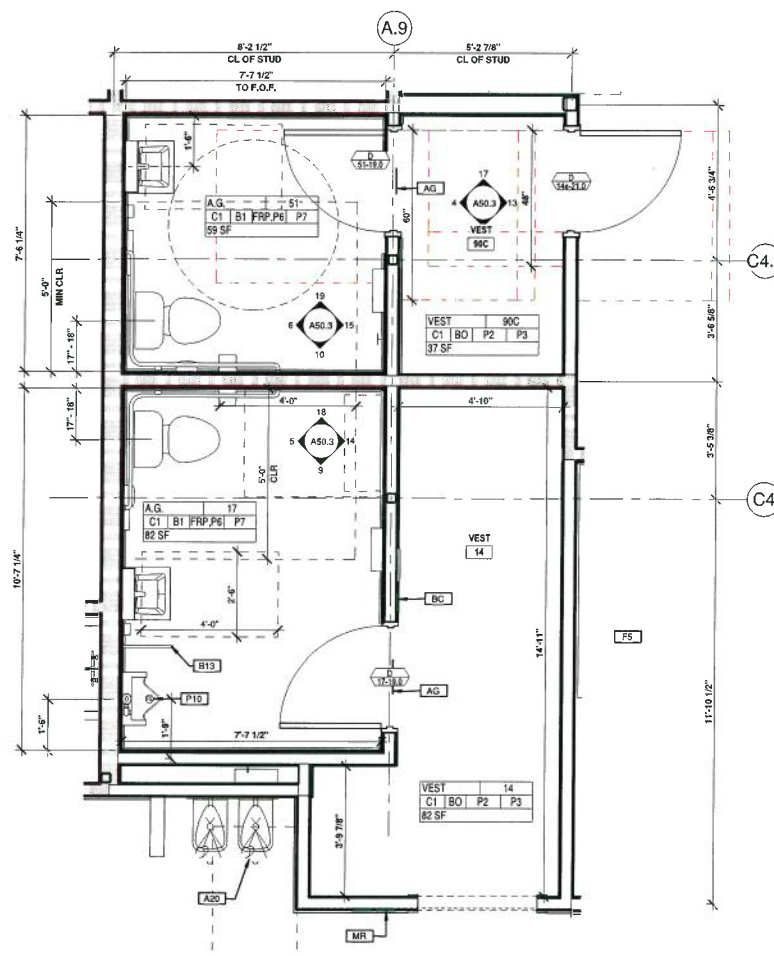
G0.51



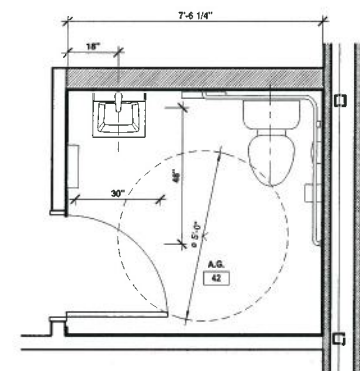
1 ENLARGED GROUP FACILITIES
 SCALE: 1/2" = 1'-0"



5 ENLARGED AG RESTROOMS
 SCALE: 1/2" = 1'-0"



15 ENLARGED RESTROOMS
 SCALE: 1/2" = 1'-0"



2 LEVEL 1 TYP. AG RESTROOMS
 SCALE: 1/2" = 1'-0"

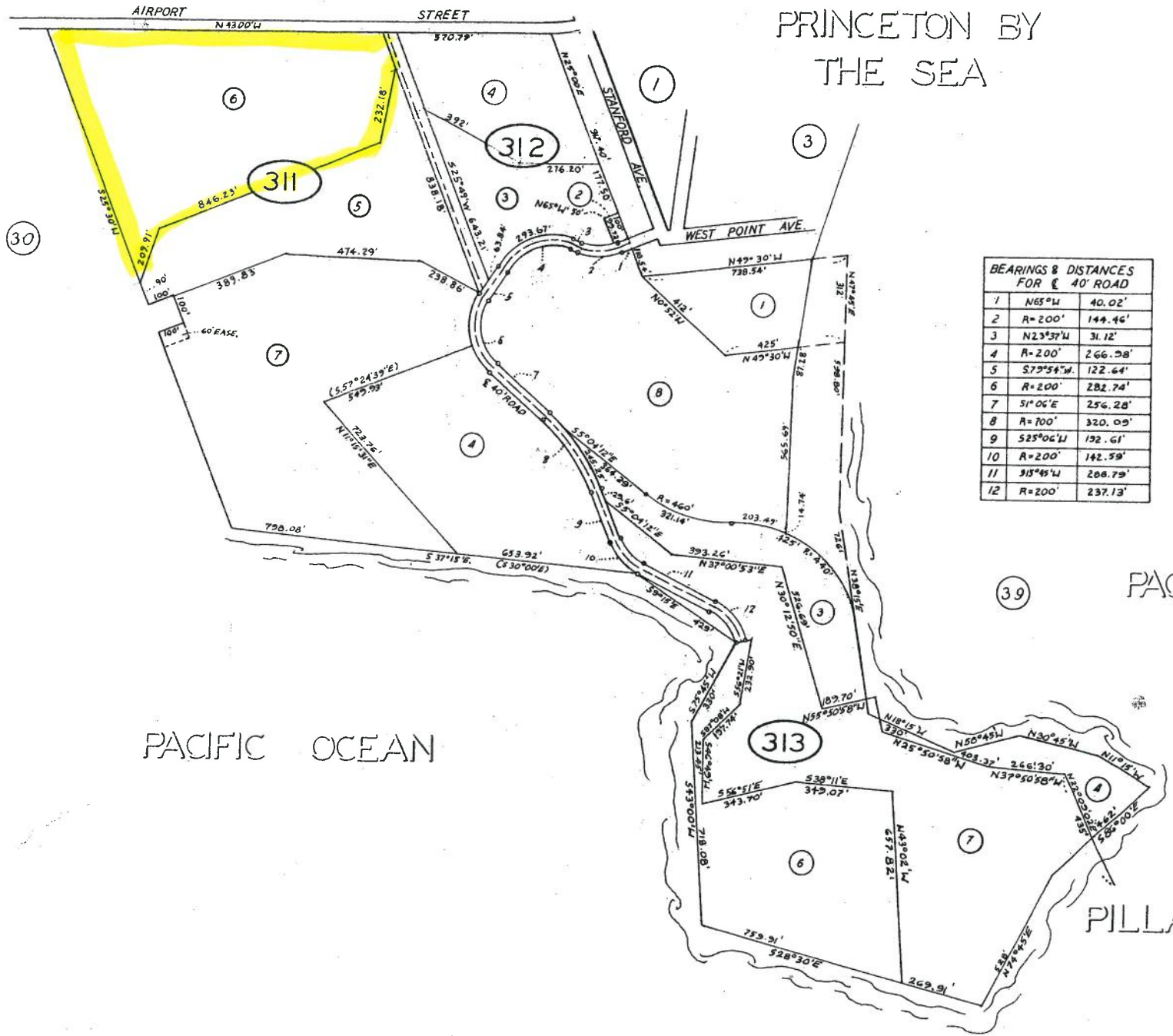
Keynote	Description
A20	ADA HI-LO DRINKING FOUNTAIN
AG	TACTILE SIGN - ALL GENDER RESTROOM, SEE 6/G7.1 FOR DETAIL
B13	PRIVACY SCREEN PARTITION
BC	TACTILE SIGN - BABY CHANGING STATION, SEE 9/G7.0
F5	48" CRADENZA
F57	REMOTE CONTROL PROJECTION SCREEN
L12	ELECTRIC HAND DRYER
LV-3	LAVATORY, SEE SHEET P0.1
MR	TACTILE SIGN- MENS RESTROOM SEE SHEET G7.1
P10	FLOOR DRAIN, TYP.
UR-1	URINAL, SEE SHEET P0.1
WC-3	WATER CLOSET, SEE SHEET P0.1

SERIES	TAG	PLAN VIEW	WALL TAG
A	A3A, A3B, A3A.1A3C, A3A	[Symbol]	[Symbol]
B	1B6B	[Symbol]	[Symbol]
E	E1C, E1E	[Symbol]	[Symbol]
F	F10, F2B, F2C, F3C, F5A, F5C	[Symbol]	[Symbol]
H	H2A, H3B	[Symbol]	[Symbol]
K	K2A	[Symbol]	[Symbol]

* See sheet G7.0 FOR MOUNTING HEIGHTS OF FIXTURES AND ACCESSORIES IN PUBLIC RESTROOMS

AIRPORT

PRINCETON BY THE SEA



BEARINGS & DISTANCES FOR E 40' ROAD

1	N65°W	40.02'
2	R=200'	144.46'
3	N23°37'W	31.12'
4	R=200'	266.98'
5	S75°54'W	122.64'
6	R=200'	282.74'
7	S1°06'E	256.28'
8	R=700'	320.09'
9	S25°06'W	192.61'
10	R=200'	142.59'
11	S15°45'W	208.79'
12	R=200'	237.13'

PACIFIC OCEAN

PILL

△ PAR
CABR

BIG WAVE
PHASE I PARCEL
047-311-060

BIG WAVE

047-311-060



Granada Sanitary District
2003 Refunding Sewage Treatment Facility Reassessment District
Account Information as of FY 2019-20

APN	New Owner	A/P	Levy	Original ERU	Current ERU	Asmt. No.
047-311-060	BIG WAVE LLC	Active	\$2,246.76	6.0	6.0	836



GRANADA COMMUNITY SERVICES DISTRICT

Board of Directors

Barbara Dye, President

Matthew Clark, Vice President

Jim Blanchard, Director

David Seaton, Director

Eric Suchornel, Director

July 30, 2020

Mr. Jeff Peck
c/o Drew Bagdasarian, Principal
DRB Associates
220 Montgomery Street, Ste. 1830
San Francisco, CA 94104

Re: Big Wave Wellness Center (Phase I), APN 047-311-060

Dear Mr. Bagdasarian:

This letter is to provide you with the wastewater estimate and sewer permit costs for the project referenced above.

An application for a sewer permit for the Big Wave Wellness Center was received by the District on 06/26/20. The proposed project is a two-story, mixed use facility with low income housing above the ground floor of commercial support services and leasable space. The second floor consists of multiple one, two and three-bedroom units, plus two studios to house 33 disabled adults, 33 full bathrooms, and two laundry facilities. The first floor consists of nine (9) separate rental spaces each with a bathroom, seven (7) support staff offices, a dining area, a café, a kitchen, a meeting room, a training room, a utility room, and seven (7) restrooms. There is a total of forty-six (46) restrooms in the building.

The District Engineer has reviewed the construction plans submitted for the project, and his analysis of the estimated wastewater generation is attached. Pursuant to District Code, the sewer capacity allotment for a single-family residence is one ERU (equivalent residential unit) or 221 gpd (gallons per day). The calculation for this project is based on 75 gpd per person (at 37 persons), and .05 gpd for the office/warehouse use, which totals 3,182 gpd. The resulting number of ERU's required for the project is 14.4, which has been rounded down to 14 ERU's for calculation of the permit fees as follows:

Connection Fees (14 x \$4,700)	\$ 65,800.00
Contingent Assessment (14 x \$8,371.36)	\$117,199.04
Non-contingent Asmt (8 x \$9,234.25)	<u>\$ 73,874.00</u>
(6 Non-contingent Asmts are levied)	Fee Total: \$256,873.04

July 30, 2020
Page Two

Because this project requires more than two ERU's of sewer capacity, the Board of Directors must approve the issuance of a sewer permit. Barring no unforeseen or outstanding issues, approval of the Big Wave Wellness Center sewer permit may be consideration at the next Board of Directors meeting on August 20, 2020. With approval from the Board of Directors and payment of the permit fees, I will be able to issue a sewer permit for the project. The only other requirement needed for permit issuance (submittal of the *Permit is Ready Notice*) has been met.

Please let us know if you have any questions.

Sincerely,



DELIA COMITO
Assistant General Manager

cc: Board of Directors
Chuck Duffy
John Rayner

Enclosure: July 9, 2020 Analysis of Wastewater Generation

Date: July 9, 2020

Development: Big Wave

Building: Wellness Center

Subject: Analysis of Wastewater Generation

Background

The Wellness Center building is a two story, 50,000 square foot structure. The ground floor includes a cafeteria, dining area and meeting area for residents as well as offices for Big Wave staff and seven “for lease” offices. The “for lease” offices are shown on the plans as being subject to a separate County permit before tenant improvements are constructed for leases. The Applicant has requested that connection fees of “for lease” offices be deferred until the offices are rented. Until rented, the Applicant intends to use these spaces for storage. The second floor includes 33 apartments and the Applicant states each will be occupied by just a single adult (I am not sure if the County will restrict occupancy for just a single person in each apartment).

Applicant’s Estimated Wastewater Generation

Because today’s building codes require water efficient plumbing fixtures, the Applicant has proposed using 80% of what it estimates is a 50 gallons per day (gpd)/person wastewater generation rate from older multi-residential units in the County. The Applicant then used 40 gpd/person times 37 people (33 residents plus 4 staff) to yield a proposed 1,480 gpd wastewater generation rate for calculating the Wellness Center Phase 1 connection fee. The Applicant proposed that the connection fee for Phase 2 be deferred until the “for lease” office spaces are rented as they are initially planned to be used for storage.

GCSD Engineer’s Estimated Wastewater Generation

GCSD’s 2003 Standard Specifications list per capita wastewater flow of 90 gpd and a wastewater generation rate of 221 gpd/single family dwelling (EDU). According to the 2010 census, there were 2.74 persons/household in El Granada. Dividing 221 gpd/EDU by 2.74 persons/household equals 80.7 gpd/person. Assuming there has been some reduction in wastewater generation in the District since these figures were developed, a per capita wastewater flow of 75 gpd will be used. Wastewater generation from office portions of the building will be estimated using 0.05 gpd/SF, which is currently being used in other Bay Area sanitary districts. The estimated wastewater generation from the Wellness Center is below.

- Residents: 75 gpd/person X 33 persons = 2,475 gpd
- BW Staff Offices: 3,876 SF X 0.05 gpd/SF = 194 gpd
- For Lease Offices; 10,251 SF X 0.05 gpd/SF = 513 gpd

Total = 3,182 gpd



Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@smcgov.org
www.co.sanmateo.ca.us/planning

PERMIT READY TO ISSUE NOTICE

Date: 6/1/2020
Plan Review Case Number: BLD2018-02138
Applicant Name: SCOTT HOLMES, BIG WAVE LLC
Located at: 380 AIRPORT ST LOT 7
Project Description: CAL-GREEN NEW COMMERCIAL

THE SUBJECT PLAN HAS BEEN REVIEWED BY THIS OFFICE AND IS APPROVED SUBJECT TO THE FOLLOWING FEES AND/OR DOCUMENTATIONS:

Balance Due: \$266,090.45
Sewer Permit Required: Yes
Water Permit Required: Yes
School Fees Required: Yes
DPW Encroachment Permit Required:
Waste Management Form: All New Construction
Fire Sprinkler Plan Required: Yes
Other:
Fire Sprinkler plans MUST be issued to the Contractor PRIOR to the issuance of the Permit.

IN ORDER TO PURCHASE YOUR PERMIT, PLEASE COME TO THIS OFFICE WITHIN 30 DAYS OF THIS NOTICE.

PLEASE NOTE THAT CREDIT CARD TRANSACTIONS HAVE A 3% PROCESSING FEE.
OUR OFFICE HOURS: 7:30 AM - 5:00 PM, MONDAY - FRIDAY

Cc:

BIG WAVE LLC
P.O. BOX 1901
EL GRANADA CA, 94018-0000



Big Wave Group, Inc. Adults with Disabilities

August 11, 2020

Dear GCSD Board of Directors:

Big Wave requests a fee waiver (or reduction) from GCSD of Sewer Connection Permit fees associated with the Wellness Center Project.

Big Wave is a nonprofit organization which serves a very low-income population of developmentally disabled adults. It should be noted that the thirty-three adults who would be served by the Wellness Center Building make an average annual salary of under \$10,000 each. The estimated connection fees equate to a relatively high percentage of salaries. This project is financially challenging and the only way it can be implemented is by reducing currently estimated costs.

Therefore, we are asking each of the districts/AHJ we are in discussions with to consider what can be done to help minimize fees for this public benefit project. So, our hope is that GCSD staff can support our request at the August 20 Board Meeting if possible.

In terms of a fee reduction for example, the Wellness Center Project is considered a commercial use (sanitarium, similar to a long-term commercial care facility) by the County in terms of zoning so the local school district has used their commercial (not residential) rate to assess fees. We request the same from GCSD (which we believe would reduce our fees from \$256,873 to approx. \$25,000).

We understand that this request would need to be presented to the GCSD Board and that the next meeting is set for 8/20 so please place us on that agenda.

We appreciate your consideration of this request.

Sincerely,

Jeff Pack

CEO – Big Wave Group

ITEM #2

MEMO

DATE: August 20, 2020
FROM: Barbara Dye
TO: GCSD Board
RE: Report on Parks and Recreation Activities.
a. Consideration of process to appoint Parks and Recreation sub-committees and select consultants.

One of the agenda items is to discuss the selection of consultants for work on our various projects. We have two immediate choices to make:

1. An architect to do a preliminary review of the old fire station building to give us some feedback about options and potential costs. This will be useful when we discuss financing options for our future efforts, probably at the next meeting. We will only be hiring the architect for this first review, but since it is very possible that we will decide to continue working with that person, it seemed a good idea to take some time with the selection at this point.
2. We agreed to commission an environmental assessment of the Burnham Strip property to assist in finalizing plans to be submitted to the County. In this case as well, we would only be contracting for the one project, but it is very possible that we would continue with the same firm for future CEQA work.

Possible ways to handle this include:

1. Having the Board review qualifications and make a decision.
2. Having the Board review qualifications, invite the applicants to a Board meeting to answer questions, and having the Board deliberate and make a selection at the same or a later meeting.
3. Setting up a Board Committee to do interviews and asking that committee to make a recommendation to the Board, as has been done with candidates for the Parks Advisory Committee.

It would be appropriate for the Board to make a general recommendation as to how to handle this type of situation in the future. Board committees could be different in each case, with the members chosen at a Board meeting or by the Board president. We could also establish a general consultant review committee for any such decisions that need to be made.

ITEM #3

GRANADA COMMUNITY SERVICES DISTRICT

AGENDA MEMORANDUM

To: Board of Directors
From: Delia Comito, Assistant General Manager
Subject: Approval of Amended Reassessment Report for FY 2019/20 and Resolution Approving Preliminary Amended Reassessments, Ordering Hearing, and Directing Actions (for Apportionments)
Date: August 20, 2020

This Item is presented for Board approval of the attached preliminary Amended Reassessment Report for FY 2019/20 and respective Resolution, which sets the hearing and directs the Engineer of Work (David Taussig & Assoc. (dta)) to finalize the amended reassessments. A public hearing will be held at the next meeting to provide affected parcel owners an opportunity to comment on the apportionments.

Staff recommends approval of the Amended Reassessment Report for FY 2019/20 and the Resolution Approving Preliminary Amended Reassessments, Ordering Hearing and Directing Actions with Respect Thereto.

GRANADA COMMUNITY SERVICES DISTRICT

RESOLUTION NO. 2020-007

**A RESOLUTION APPROVING PRELIMINARY AMENDED REASSESSMENTS,
ORDERING HEARING, AND DIRECTING ACTIONS WITH RESPECT THERETO
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)**

RESOLVED by the District Board of the Granada Community Services District, San Mateo County, California, that:

WHEREAS, this District Board heretofore adopted Resolution No. 2012-011, a Resolution Directing Making of Amended Noncontingent Assessment Re Certain Such Reassessments Under Resolution of Intention No. 2003-008 Sewage Treatment Facility Improvements Integrated Financing District.

WHEREAS, pursuant to Resolution No. 2020-006 the Engineer of work has prepared and filed with the District Secretary a report and amended noncontingent assessments and diagram on the lots, pieces and parcels so changed.

WHEREAS, pursuant to Resolution No. 2020-006 the noncontingent assessments of said lots, pieces and parcels have been segregated and apportioned in accordance with the benefits to the several parts or the whole of the lots, pieces and parcels as so changed and the total amount of the fixed-lien assessments and of the administration assessments, separately, of the several portions or the whole of the lots, pieces and parcels as so changed shall be equal to the fixed-lien assessments and the administration assessments, respectively, upon said lots, pieces and parcels.

WHEREAS, said report has been made and filed and duly considered by this Board;

NOW, THEREFORE, IT IS ORDERED, as follows:

1. Said report as a whole and each part thereof, to wit:
 - (a) the amended diagram showing the amended reassessments and dimensions of the respective amended lots, pieces and parcels of land with respect to said reassessment; and
 - (b) the apportionment of the total amount of the proposed amended reassessment upon the several amended lots, pieces and parcels of land in proportion to the estimated benefits to be received by said amended lots, pieces and parcels of land, respectively; is sufficient and is preliminarily approved.
2. Said report shall stand as the engineer's report for the purpose of all subsequent proceedings herein.

3. September 17, 2020, at the hour of 7:30 o'clock p.m., in the regular meeting place of this Board, be, and the same is hereby appointed and fixed as the time and place when and where this Board will hear any objections or protests to said amended reassessments and will consider and finally determine whether the public interest, convenience and necessity require said amended reassessments, and when and where it will consider and finally act upon said engineer's report.

4. The District General Manager of the Granada Community Services District shall cause notice of said hearing to be given by publication once a week for two consecutive weeks in a newspaper of general circulation in the district. The first publication of said notice shall be completed at least fifteen (15) days before the date herein set for said hearing. Said notice shall be headed "Notice of Hearing on Amended Noncontingent Assessments" and shall state: the filing of said report, the date, hour and place set for and purpose of the hearing on said report and of protests; a brief description of the proposed amended reassessment; that any person interested in the original reassessment or in the lots, pieces and parcels of land affected thereby or in the bonds secured thereby may appear and protest as provided in Part 10 of Division 10 of the Streets and Highways Code of California; and that reference is made to said report for further particulars.

* * * * *

The above and foregoing Resolution was duly and regularly passed and adopted at the regular meeting of the Board of Directors of the Granada Community Services District held on the 20th day of August 2020, by the following vote:

AYES, and in favor thereof, Members:

NOES, Members:

ABSTAIN, Members:

ABSENT, Members:

Approved:

Barbara Dye, Board President

Attest:

Delia Comito, Board Secretary

**GRANADA COMMUNITY SERVICES DISTRICT
RESOLUTION NO. 2020-006**

AMENDED REASSESSMENT REPORT FOR FY 2019-20

**A RESOLUTION DIRECTING MAKING OF AMENDED
NONCONTINGENT ASSESSMENT RE CERTAIN SUCH
REASSESSMENTS UNDER
RESOLUTION OF INTENTION NO. 2003-008**

August 11, 2020

GRANADA COMMUNITY SERVICES DISTRICT

**AMENDED REASSESSMENT
REPORT FOR FY 2019-20**

**SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)**

Amending Reassessment Numbers

407, 408, 801, 806, 48, 49, 847, 848, 29
33, 135 and 568

Amending Noncontingent Assessment Numbers

047-127-260, 047-127-270, 047-275-440, 047-282-140, 047-022-090, 047-022-100
048-013-050, 048-013-060
047-015-370, 047-016-330, 047-032-170, 047-171-200

Prepared for

**GRANADA COMMUNITY SERVICES
DISTRICT**

Prepared by

DTA

TABLE OF CONTENTS

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I. APPORTIONMENT OF REASSESSMENT

Exhibit "A"
 Granada Sanitary District
 Sewage Treatment Facility Improvements Integrated Financing District
 Reassessment and Refunding of 2003
 (2019-20)

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-127-260	407	\$3,721.33	047-127-520	407/408	\$7,442.67	CKC Investment Properties 3045 Rivera Drive Burlingame, CA 94010
047-127-270	408	\$3,721.33				
Total		\$7,442.67			\$7,442.67	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-275-440	801	\$3,721.33	047-275-480	801-1	\$3,721.33	Leeds, Jeffrey Louis TR Leeds Maresha Sceats TR 1106 Columbus Street El Granada, CA 94018-8033
Total		\$3,721.33			\$3,721.33	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-282-140	806	\$11,164.00	047-282-150 047-282-160	806-1 806-2	\$5,582.00 \$5,582.00	James Patrick Kenny III PO Box 2033 El Granada, CA 94018
Total		\$11,164.00			\$11,164.00	

*Subject to Rounding

Exhibit "A"
 Granada Sanitary District
 Sewage Treatment Facility Improvements Integrated Financing District
 Reassessment and Refunding of 2003
 (2018-19)

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-022-090	48	\$7,442.67	047-022-350	48/49	\$11,164.00	Annie Anderson Jonathan Searles 371 Harvard El Granada, CA 94018-8210
047-022-100	49	\$3,721.33				
Total		\$11,164.00			\$11,164.00	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
048-013-050	847	\$2,493.30	048-013-920	847/848	\$3,721.33	Huard III Paul Alexander TR Huard Ruth Duran TR 350 Sequoia Ave. Palo Alto, CA 94306
048-013-060	848	\$1,228.04				
Total		\$3,721.33			\$3,721.33	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-015-370	29	\$18,606.66	047-015-470	29-1	\$18,606.66	Broderick Elizabeth A TR 218 Cornell Ave. Half Moon Bay, CA 94019
Total		\$18,606.66			\$18,606.66	

*Subject to Rounding

Exhibit "A"
 Granada Sanitary District
 Sewage Treatment Facility Improvements Integrated Financing District
 Reassessment and Refunding of 2003
 (2017-18)

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-016-330	33	\$3,721.33	047-016-370	33A	\$3,721.33	ELG Circle LLC PO Box 1694 El Granada, CA 94018
Total		\$3,721.33			\$3,721.33	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-032-170	135	\$3,721.33	047-032-390	135A	\$3,721.33	Reza Malek 115 W. Point Ave. El Granada, CA 94018
Total		\$3,721.33			\$3,721.33	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-171-200	568	\$3,721.33	047-171-300	568-1	\$1,860.67	Alton Asset Corp 1656 Channing Ave. Palo Alto, CA 94303
			047-171-310	568-2	\$1,860.67	
Total		\$3,721.33			\$3,721.33	

*Subject to Rounding

II. AMENDED REASSESSMENT DIAGRAM

**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**

ACCEPTED AND FILED AT
THE REQUEST OF

DATE _____

TIME _____ FEE \$ _____

INSTRUMENT # _____

BOOK _____ PAGE _____

MARK CHURCH

COUNTY CLERK-RECORDER

BY _____

DEPUTY

Exempt recording requested, per
CA Government Code §27383

Amending assessment of Assessment Nos. 33, 135, 568, 48, 49, 847, 848, 29, 407, 408, 801, and 806 as shown on the previously recorded Reassessment Diagram in the County of San Mateo, California.

Recorded in the office of the Granada Sanitary District this _____ day of _____, 2020.

Granada Sanitary District

For particulars of lines and dimensions of Assessor's parcels reference is made to the maps of the San Mateo County Assessor, Records of San Mateo County, California.

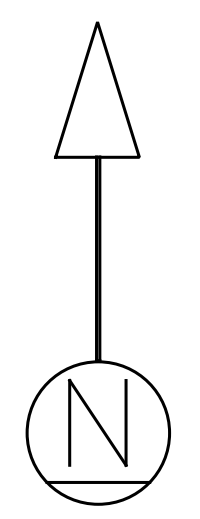
Conversion 2017-1

Conversion 2018-1

Conversion 2019-1

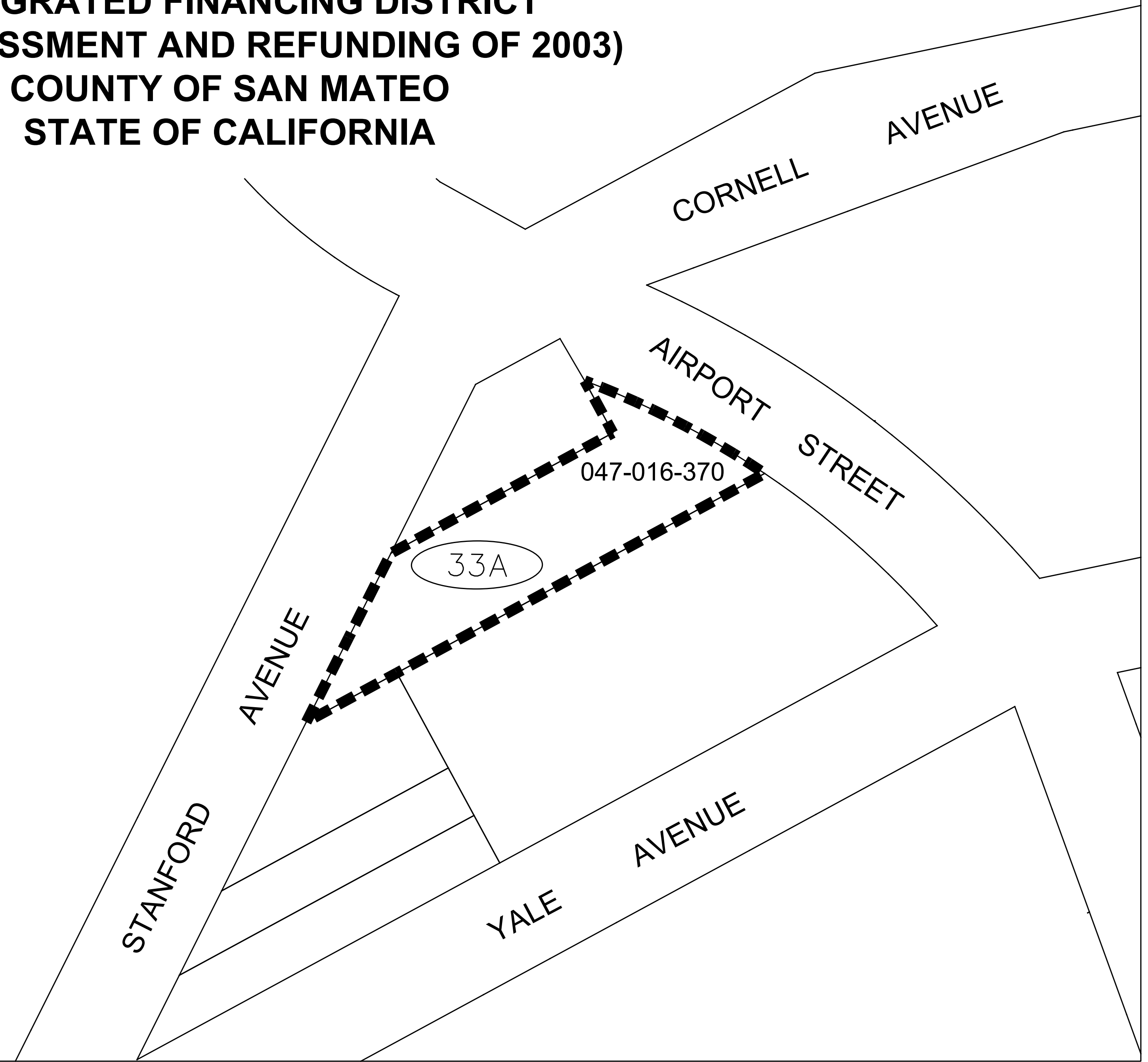
**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**

33A Assessment Number
047-016-370 Assessor Parcel Number

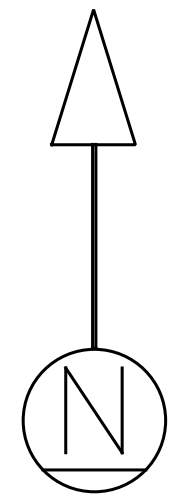
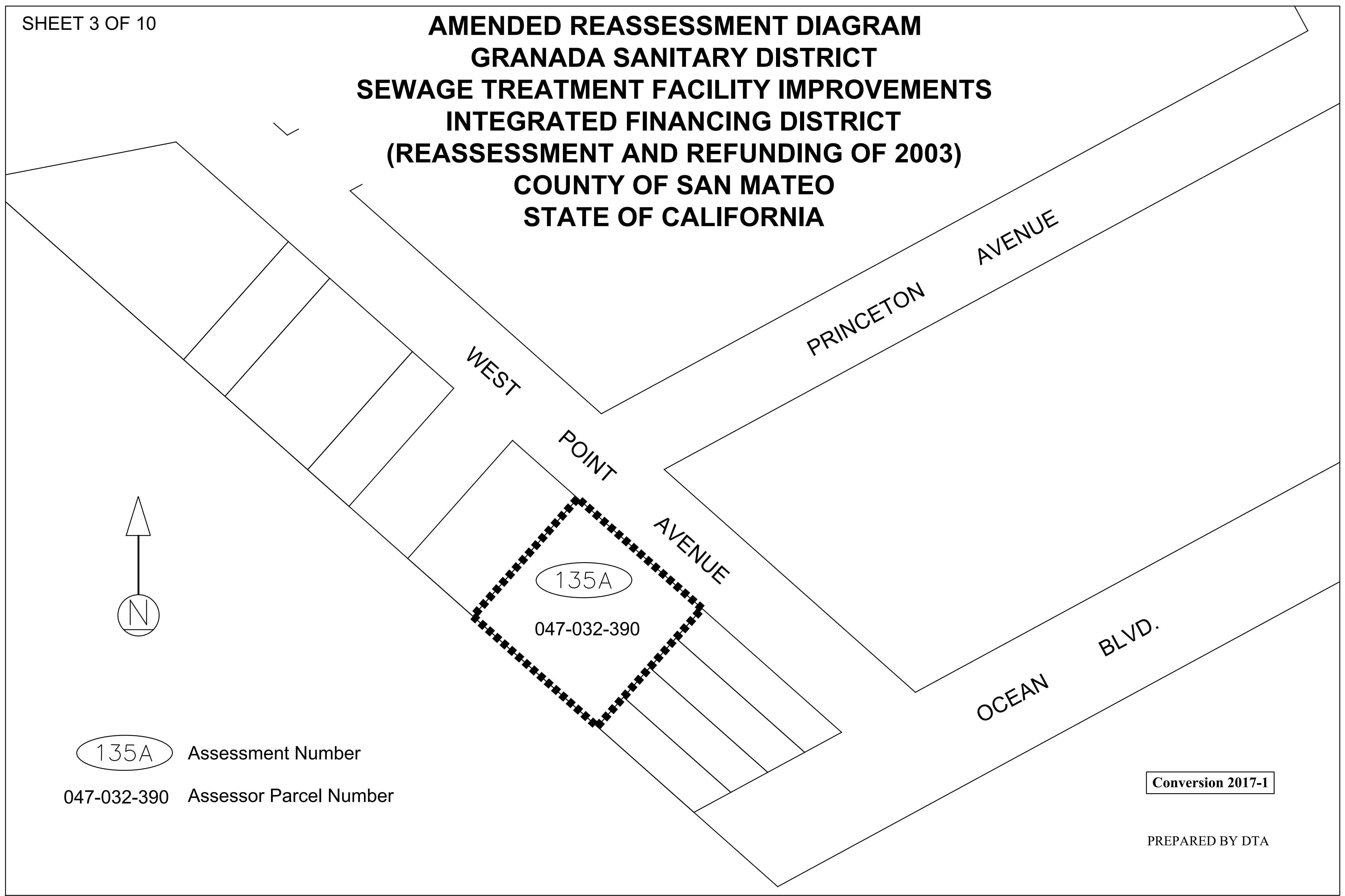


Conversion 2017-1

PREPARED BY DTA



**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**



135A

Assessment Number

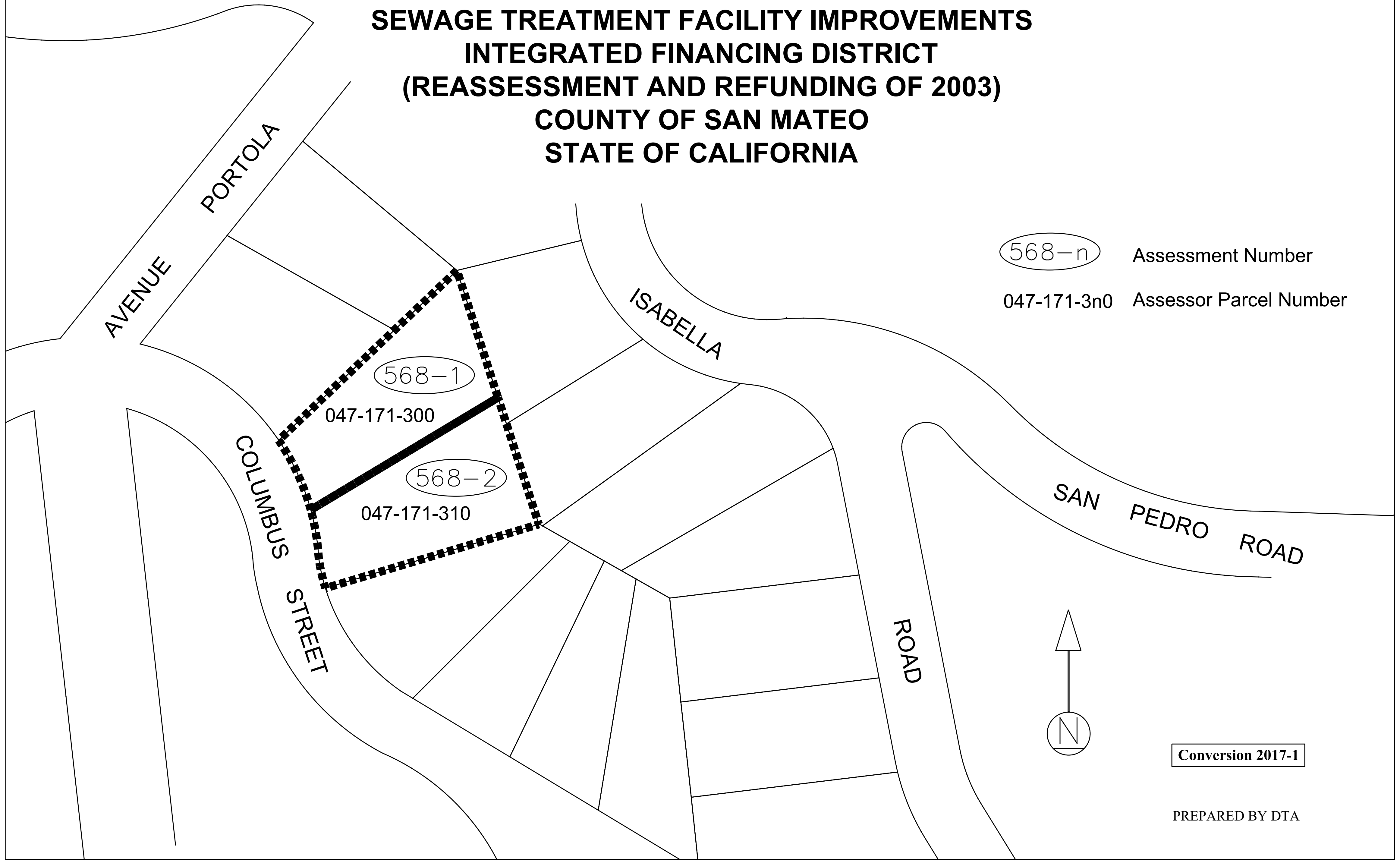
047-032-390

Assessor Parcel Number

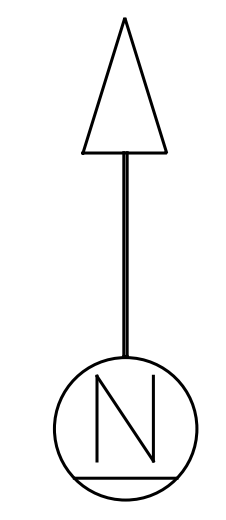
Conversion 2017-1

PREPARED BY DTA

**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**



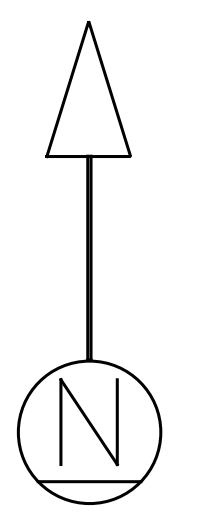
568-n Assessment Number
047-171-3n0 Assessor Parcel Number



Conversion 2017-1

PREPARED BY DTA

**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**

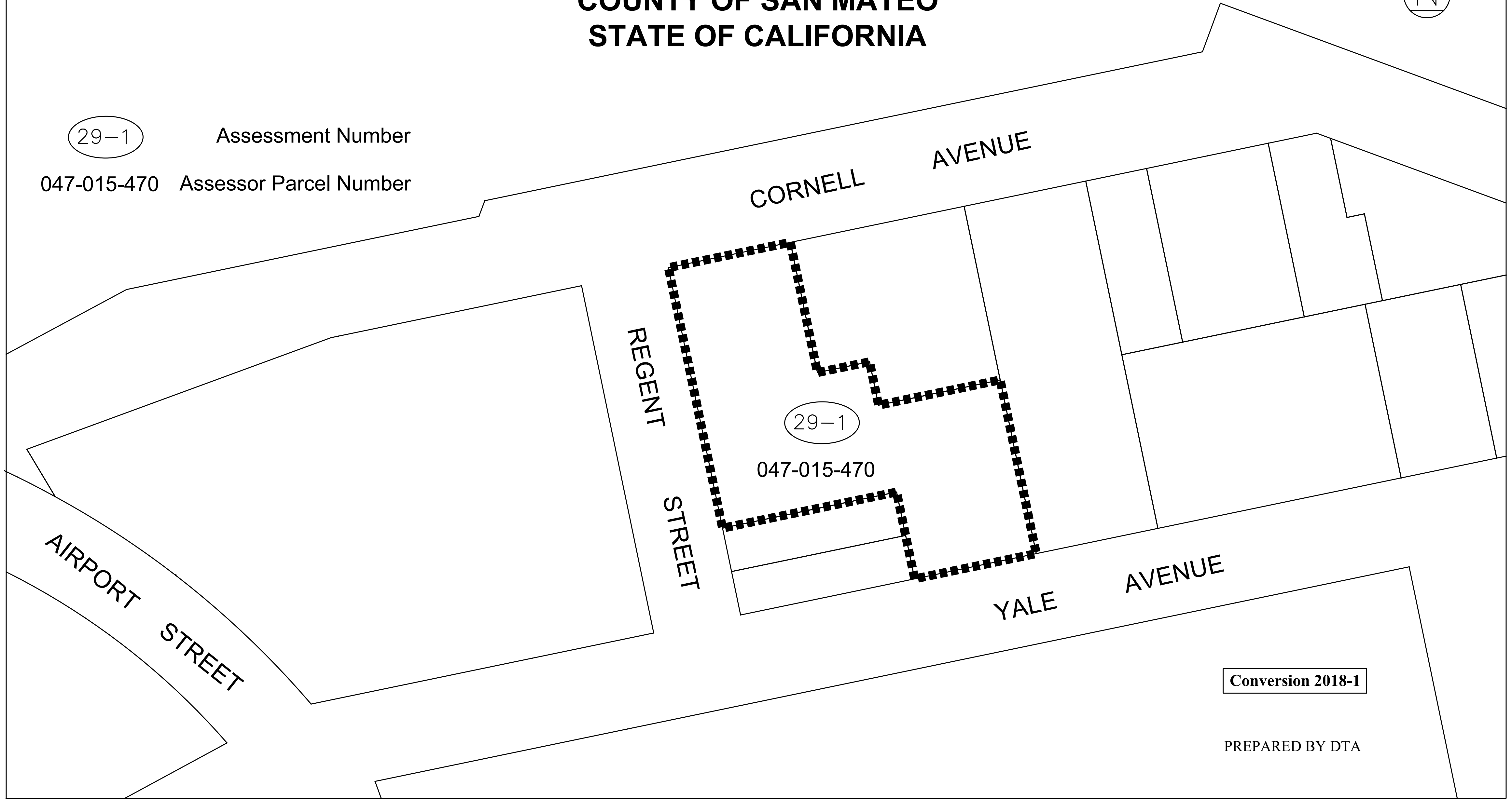


29-1

Assessment Number

047-015-470

Assessor Parcel Number

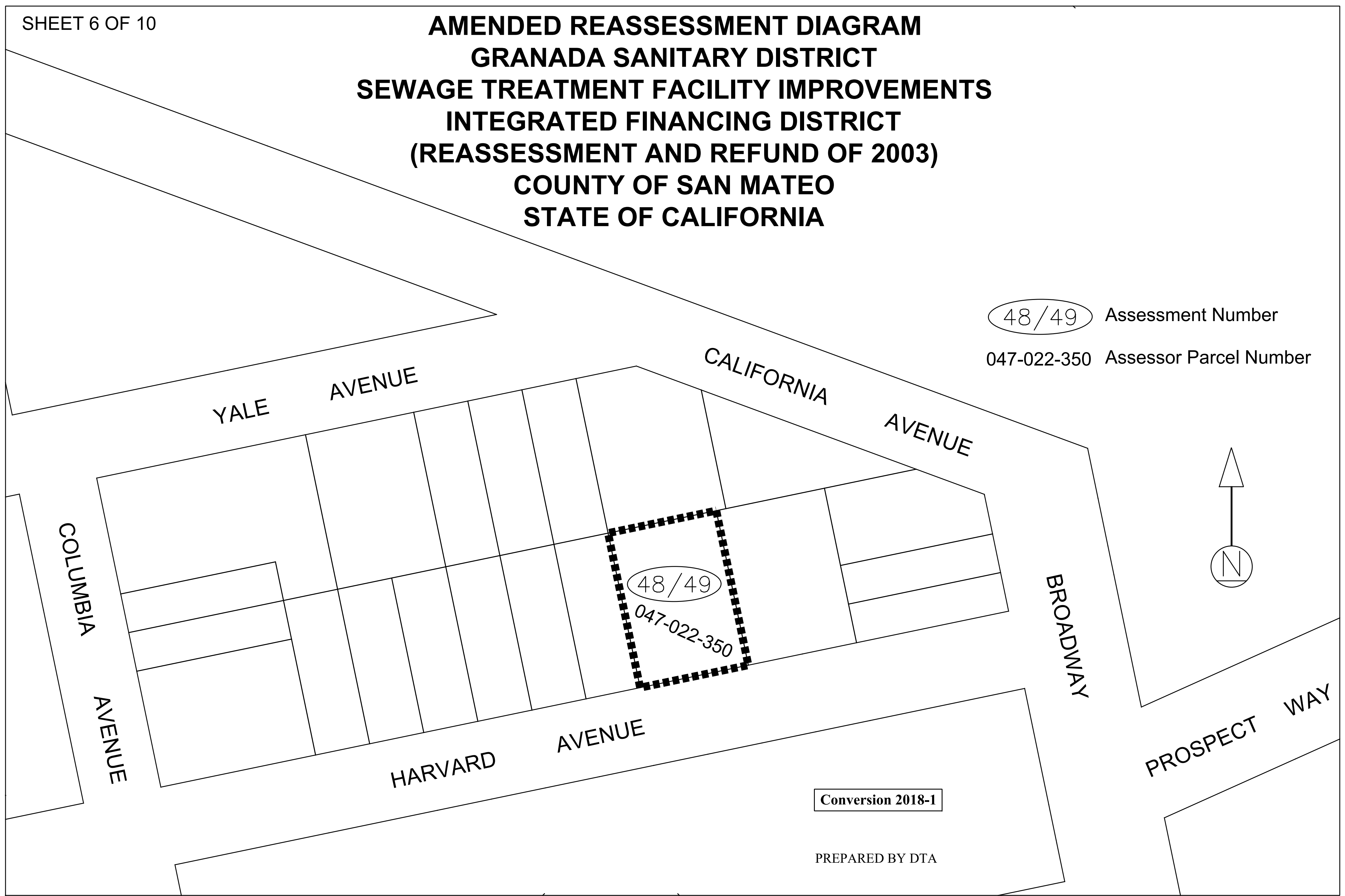


Conversion 2018-1

PREPARED BY DTA

**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUND OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**

48/49 Assessment Number
047-022-350 Assessor Parcel Number

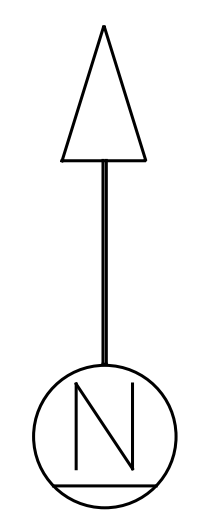
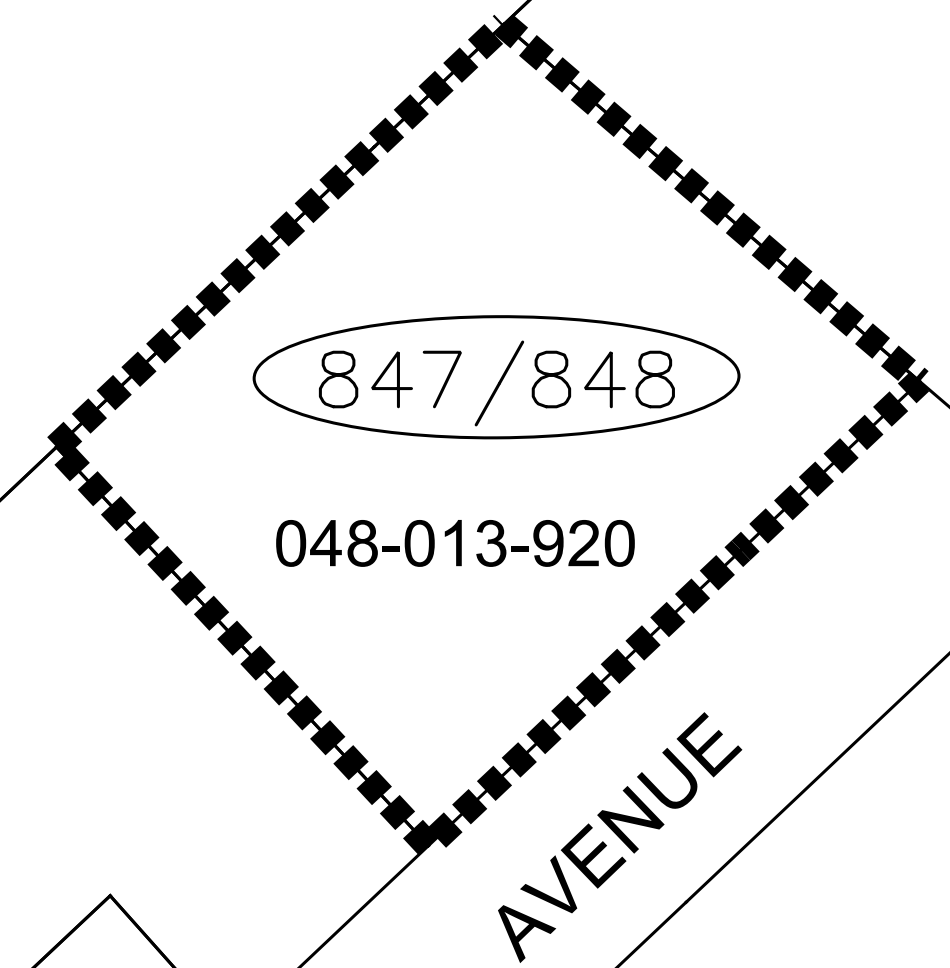


Conversion 2018-1

PREPARED BY DTA

**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**

847/848 Assessment Number
048-013-920 Assessor Parcel Number



Conversion 2018-1

PREPARED BY DTA

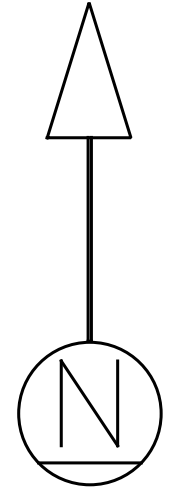
MIRADA ROAD

MAGELLAN AVENUE

ALAMEDA AVENUE

CORONADO AVE.

**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**



Conversion 2019-1

PREPARED BY DTA

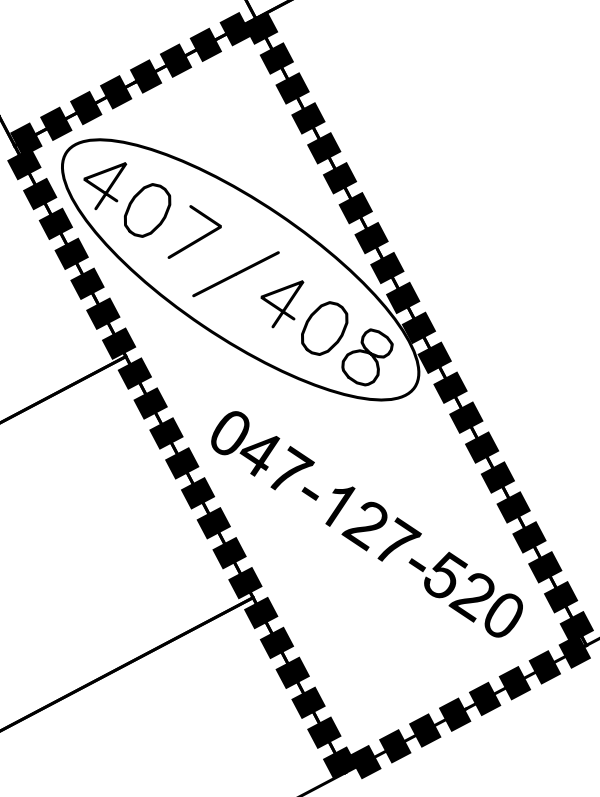
407/408 Assessment Number
047-127-520 Assessor Parcel Number

VALENCIA
AVENUE

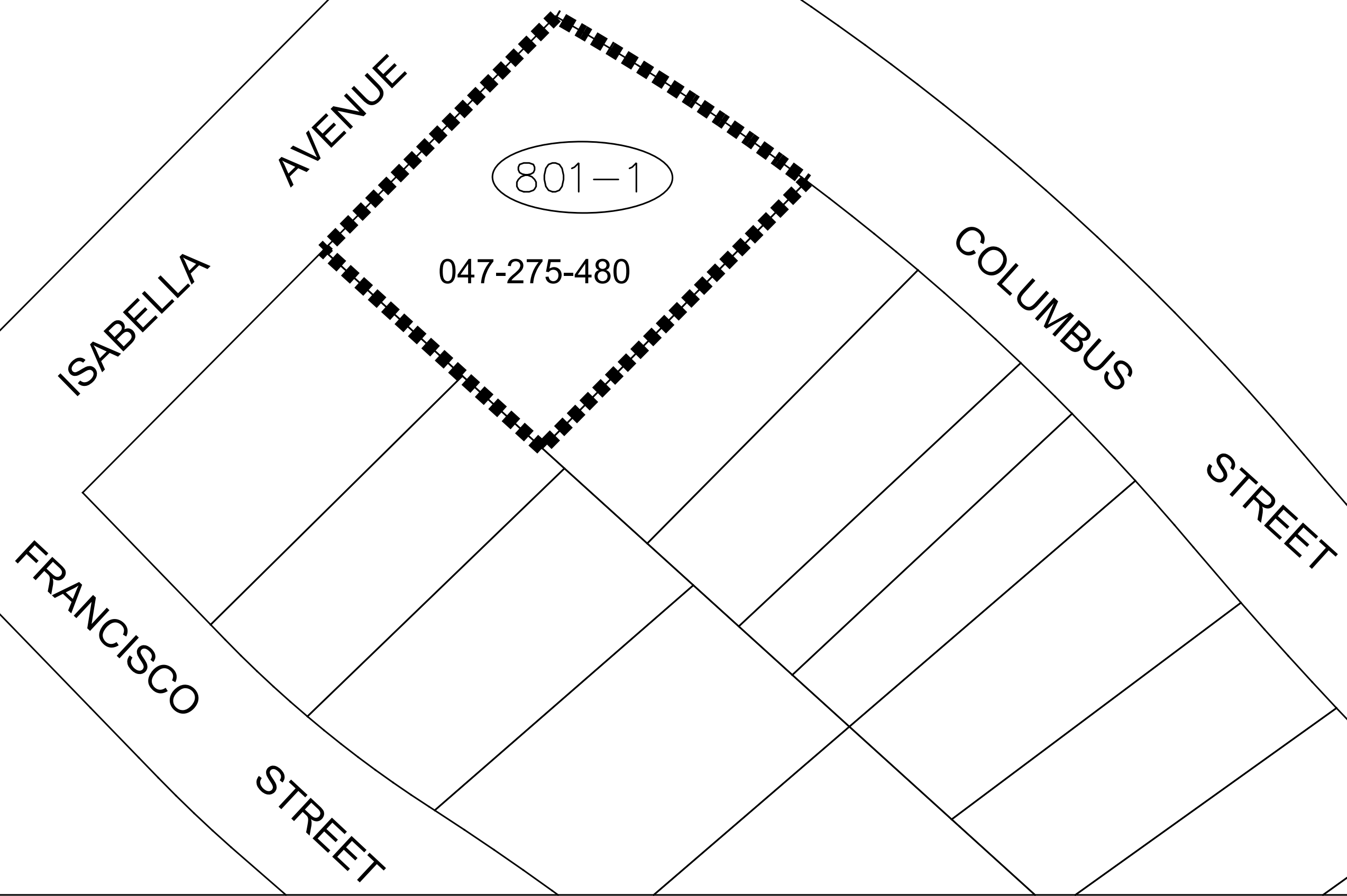
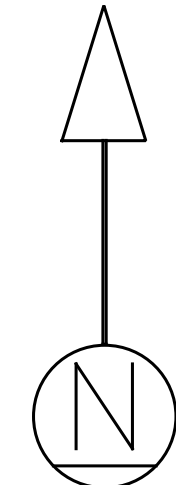
PALMA
STREET

AVENUE
BALBOA

THE
ALAMEDA



**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**

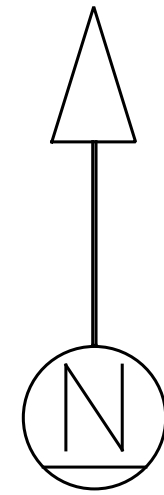


801-1 Assessment Number
047-275-480 Assessor Parcel Number

Conversion 2019-1

PREPARED BY DTA

**AMENDED REASSESSMENT DIAGRAM
GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
COUNTY OF SAN MATEO
STATE OF CALIFORNIA**



Conversion 2019-1

PREPARED BY DTA

806-n Assessment Number

047-282-1n0 Assessor Parcel Number



III. NOTICE TO BONDHOLDER

O'Conner Southwest Securities was the original purchaser of the Bonds. Since the firm is no longer in business a Notice to Bondholder will not be sent.

IV. NOTICE OF AMENDED REASSESSMENT

Recording requested by:

Delia Comito, Secretary of the Board of Directors
C/O David Taussig & Associates
5000 Birch Street, Suite 6000
Newport Beach, CA 92660

After recordation, return to:

Delia Comito, Secretary of the Board of Directors
C/O David Taussig & Associates
5000 Birch Street, Suite 6000
Newport Beach, CA 92660

NOTICE OF AMENDED REASSESSMENT

**GRANADA SANITARY DISTRICT
SEWAGE TREATMENT FACILITY IMPROVEMENTS
INTEGRATED FINANCING DISTRICT
(REASSESSMENT AND REFUNDING OF 2003)
APPORTIONMENT OF REASSESSMENT NUMBERS
407, 408, 801, 806, 48, 49, 847, 848, 29
33, 135 and 568**

Pursuant to the requirements of Section 3114 of the Streets and Highways Code of California, the undersigned Secretary of the Board of Directors of the Granada Sanitary District, County of San Mateo, State of California, hereby gives notice that an Amended Reassessment Diagram and Reassessment Roll were recorded in the office of the District Engineer of the District, as provided for in said Section, and relating to the real property more particularly described on the Amended Reassessment Diagram filed in accordance with said Section on the _____ day of _____, 2020 in Book _____, Page(s) _____, Document No. _____ of Book of Maps of Assessment and Community Facilities Districts in the office of San Mateo County Recorder.

Said Amended Reassessment Diagram amends "Reassessment and Contingent Assessment Diagram, Granada Sanitary District, Sewage Treatment Facility Improvements Integrated Financing District, (Reassessment and Refunding Project of 2003)" filed on the 13th day of August, 2003 in the office of said County Recorder in Book 17, at Pages 33 through 62, Document No. 2003-227679, of Maps of Assessment and Community Facilities Districts.

Notice is further given that upon the recording of this Notice in the office of said County Recorder, the several Reassessments assessed on the lots, pieces and parcels as shown on the said filed Amended Reassessment Diagram shall become a lien upon the lots or portions of lots assessed, respectively.

Reference is made to the Amended Reassessment Diagram and Reassessment Roll recorded in the office of said District Engineer for the amount of each of the amended Reassessments.

Exhibit "A" hereto attached, and by this reference incorporated herein, shows the parcels subject to the amended Reassessment.

Delia Comito, Secretary of the Board of Directors
Granada Sanitary District
County of San Mateo
State of California

Date

Exhibit "A"
 Granada Sanitary District
 Sewage Treatment Facility Improvements Integrated Financing District
 Reassessment and Refunding of 2003
 (2019-20)

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-127-260	407	\$3,721.33	047-127-520	407/408	\$7,442.67	CKC Investment Properties 3045 Rivera Drive Burlingame, CA 94010
047-127-270	408	\$3,721.33				
Total		\$7,442.67			\$7,442.67	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-275-440	801	\$3,721.33	047-275-480	801-1	\$3,721.33	Leeds, Jeffrey Louis TR Leeds Maresha Sceats TR 1106 Columbus Street El Granada, CA 94018-8033
Total		\$3,721.33			\$3,721.33	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-282-140	806	\$11,164.00	047-282-150	806-1	\$5,582.00	James Patrick Kenny III PO Box 2033 El Granada, CA 94018
			047-282-160	806-2	\$5,582.00	
Total		\$11,164.00			\$11,164.00	

*Subject to Rounding

Exhibit "A"
 Granada Sanitary District
 Sewage Treatment Facility Improvements Integrated Financing District
 Reassessment and Refunding of 2003
 (2018-19)

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-022-090	48	\$7,442.67	047-022-350	48/49	\$11,164.00	Annie Anderson Jonathan Searles 371 Harvard El Granada, CA 94018-8210
047-022-100	49	\$3,721.33				
Total		\$11,164.00			\$11,164.00	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
048-013-050	847	\$2,493.30	048-013-920	847/848	\$3,721.33	Huard III Paul Alexander TR Huard Ruth Duran TR 350 Sequoia Ave. Palo Alto, CA 94306
048-013-060	848	\$1,228.04				
Total		\$3,721.33			\$3,721.33	

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-015-370	29	\$18,606.66	047-015-470	29-1	\$18,606.66	Broderick Elizabeth A TR 218 Cornell Ave. Half Moon Bay, CA 94019
Total		\$18,606.66			\$18,606.66	

*Subject to Rounding

Exhibit "A"
 Granada Sanitary District
 Sewage Treatment Facility Improvements Integrated Financing District
 Reassessment and Refunding of 2003
 (2017-18)

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-016-330	33	\$3,721.33	047-016-370	33A	\$3,721.33	ELG Circle LLC PO Box 1694 El Granada, CA 94018

Total \$3,721.33 \$3,721.33

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-032-170	135	\$3,721.33	047-032-390	135A	\$3,721.33	Reza Malek 115 W. Point Ave. El Granada, CA 94018

Total \$3,721.33 \$3,721.33

Old APN	Reassessment Number	Original Reassessment	New APN	Reassessment Number	Original Reassessment	Owner of Record
047-171-200	568	\$3,721.33	047-171-300	568-1	\$1,860.67	Alton Asset Corp 1656 Channing Ave. Palo Alto, CA 94303
			047-171-310	568-2	\$1,860.67	

Total \$3,721.33 \$3,721.33

*Subject to Rounding

ITEM #4



SEWER AUTHORITY MID-COASTSIDE
Board of Directors Meeting Agenda
Regular Board Meeting 7:00 PM, Monday, July 27, 2020

SAM Administration Building, 1000 N. Cabrillo Highway, Half Moon Bay, CA 94019
Directors will attend the meeting through teleconferencing pursuant to and as permitted by Executive Order N-29-20. Consistent with Executive Order N-29-20 and the San Mateo County Health Officer shelter in place order issued on March 16, 2020, members of the public may observe and participate in the open session portions of the meeting electronically by using the following link:

Join Zoom Meeting

<https://us02web.zoom.us/j/83091221505?pwd=M0lHWjdmRidHOENvcXI3a0lWVlc4UT09>

Meeting ID: 830 9122 1505

Passcode: 949330

One tap mobile

Dial by your location

+1 669 900 6833 US (San Jose)

If you have a disability and require special assistance related to participating in this teleconference meeting, please contact the Authority at least two working days in advance of the meeting at (650) 726-0124 or via email at kishen@samcleanswater.org.

1. CALL TO ORDER

A. Roll Call:	Chair:	Kathryn Slater-Carter (MWSD)
	Vice-Chair:	Barbara Dye (GCSD)
	Secretary/Treasurer:	Deborah Ruddock (HMB)
	Director:	Jim Blanchard (GCSD)
	Director:	Ric Lohman (MWSD)
	Director:	Dr. Deborah Penrose (HMB)

2. PUBLIC COMMENT / ORAL COMMUNICATION

Members of the public are welcome to submit comments via e-mail by sending them to

kishen@samcleanswater.org. All comments so submitted prior to 6 pm on July 27, 2020 will be read out loud during the discussion of the respective item(s) identified in the e-mail; comments without such identification shall be read during this Item. Members of the public may also provide comments telephonically or electronically on individual items following recognition by the Board Chair presiding over the meeting.

3. **CONSENT AGENDA** *(Consent items are considered routine and will be approved/ adopted by a single motion and vote unless a request for removal for discussion or explanation is received from the public or Board.)*
 - A. Approve Minutes of July 13, 2020, Regular Board Meeting (**Attachment**)
 - B. Approve Disbursements for July 27, 2020 (**Attachment**)
 - C. Receive FY 2019-20 Revenue and Expense Report for Period Ending June 30, 2020 (**Attachment**)
 - D. Set Salary and Terms and Conditions of Employment for Unrepresented Employees and Approve Unrepresented Employees' Salary Schedule, Retroactive to July 1, 2020 (**Attachment**)
 - E. Set Bi-weekly Employee Salary Schedule, Effective July 1, 2020 (**Attachment**)
4. **REGULAR BUSINESS** *(The Board will discuss, seek public input, and possibly take action on the following items.)*
 - A. Receive the Draft Report from Woodward & Curran on the Wet Weather Flow Management Alternatives Analysis and Give Direction to Staff Regarding Project Alternatives (**Attachment**)
5. **GENERAL MANAGER'S REPORT**
 - A. Receive Manager's Report for June 2020 (**Attachment**)
6. **ATTORNEY'S REPORT**
7. **DIRECTORS' REPORT**
8. **TOPICS FOR FUTURE BOARD CONSIDERATION** (**Attachment**)
9. **CONVENE IN CLOSED SESSION** *(Items discussed in Closed Session comply with the Ralph M. Brown Act.)*
 - A. CONFERENCE WITH LEGAL COUNSEL- EXISTING LITIGATION
Pursuant to Government Code Paragraph (2) of Subdivision (d) of Section 54956.9 (Beverli Marshall dispute)
 - B. CONFERENCE WITH LEGAL COUNSEL — ANTICIPATED LITIGATION
Pursuant to Paragraph (4) of Subdivision (d) of Government Code Section 54956.9 (Two potential cases)
 - C. CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION
Pursuant to Government Code Paragraph (1) of Subdivision (d) of Section 54956.9:

(Half Moon Bay v. Granada CSD, Montara WSD & Sewer Authority Mid-Coastside)

D. CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION

Pursuant to Government Code Paragraph (1) of Subdivision (d) of Section 54956.9:
(Ecological Rights Foundation vs. Sewer Authority Mid-Coastside)

10. CONVENE IN OPEN SESSION (*Report Out on Closed Session Items*)

11. ADJOURNMENT

- Upcoming Regular Board Meetings: August 10, 2020 and August 24, 2020

The meeting will end by 9:00 p.m. unless extended by Board vote.

INFORMATION FOR THE PUBLIC

This agenda contains a brief description of each item to be considered. Those wishing to address the Board on any matter not listed on the Agenda, but within the jurisdiction of the Board, may do so during the Public Comment section of the Agenda and will have a maximum of three minutes to discuss their item. The Board Chair will call forward those wishing to speak on a matter listed on the Agenda at the appropriate time.

Any writing that is a public record and relates to an agenda item for an open session of a regular meeting that is distributed to the Board less than 72 hours prior to the meeting, is available for public inspection, during normal business hours, at the Authority’s office.

Board meetings are accessible to people with disabilities. Upon request, the Authority will make this agenda available in appropriate alternative formats to persons with a disability. In compliance with the Americans with Disabilities Act, the Authority will provide special assistance for participation in this meeting. Please submit requests for a disability-related modification or an accommodation in order to participate in the public meeting at least two working days in advance of the meeting by contacting the Authority at (650) 726-0124.



SEWER AUTHORITY MID-COASTSIDE

Staff Report

TO: Honorable Board of Directors
THROUGH: Kishen Prathivadi, General Manager
FROM: Tim Costello, Supervisor of Technical / Field Services
SUBJECT: **Monthly Manager’s Report – June 2020**

Executive Summary

The purpose of this report is to keep the Board and public informed of SAM’s day-to-day operations.

Fiscal Impact

There is no fiscal impact from this report.

Strategic Plan Compliance

The recommendation complies with the SAM Strategic Plan Goal 5.5: *“Operations and maintenance should be proactively planned, and the Board shall be kept up to date on progress on operations and maintenance issues.”*

Background and Discussion/Report

The following data is presented for the month of June 2020.

<i>Key Indicators of Performance</i>		<i>Flow Report (See Attachment A)</i>		
NPDES Permit Violations:	0	Half Moon Bay	0.651	56.3%
Accidents, Injuries, etc.:	0	Granada CSD	0.248	21.4%
Reportable Spills Cat 1:	0	Montara W&SD	<u>0.258</u>	<u>22.3%</u>
Reportable Spills Cat 2:	0	Total	1.157	100%
Reportable Spills Cat 3:	0			

BOARD MEMBERS:	J. Blanchard	B. Dye	R. Lohman
	D. Penrose	D. Ruddock	K. Slater-Carter
ALTERNATE MEMBERS:	S. Boyd	M. Clark	A. Eisen
	J. Harvey	H. Rarback	P. Dekker

Administration

There were two Board Meetings in the month of June. There were zero public records request in June 2020. The Half Moon Bay Review had two articles, “Agencies Mull Sewer Rates”, June 3, 2020, and “Sewer, Water Rates Rise for Many Coastside Residents”, June 9, 2020. .

There has been no lost time work accidents since September 10, 2019.

There were no new hires in the month of June. There was one anniversary in June, David Partida June 4, 2007, 13 years of service, and no promotions.

Operations & Maintenance

The following permanent flow storage installations are in place and functioning properly.

Montara Pump Station – Walker Tank, which has a capacity of 434,000 gallons.

The Portola Station – Wet Weather Facility, which has a capacity of 200,000 gallons.

The Portola Pump Station has the ability to use the Wet Weather Facility as a modified equalization basin if needed, (without mixing it is not ideal for this use) or as wet weather flow storage as originally designed.

Operations in June were good over all. The portable chopper pump on site is helping in regards to relief from the ragging issues we were experiencing. We are working with a vendor to get the inline chopper pumps installed which will allows to send back the rental chopper. We are currently waiting for correct piping which had a lead time no one was expecting.

With the cleaning project of anaerobic digester # 1 complete, the next phase will be recoating. We expect to have the scope of work for this project out soon so that we can put the digester back in service.

Calcon was in working on annual calibration of equipment in the plant this month along with working on some proگرامing issues and replacing a gas sensing system in the digester control building.

During the month of June 2020, rainfall was below normal for Half Moon Bay. The 10-year average for the area is 0.15 inches of rain in May. This year the monthly total was not tabulated on the climate data web site, it appears that the US climate web site is no

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longer supported, (US climate data HMB). We did get some rainfall to report for the month of June. Rainfall totals were as follows: 0.1 inches at the treatment plant, 0.05 inches in the GCSD service are, and 0.03 inches at the MWSD weather station. Still below the 10 year average but at least we got a little. There were micro-climate variations verified by the data.

Below is a chronological summary of some of the occurrences during the month of June 2020.

- 6/1/2020 – Cal-con in working on plant air valves.
- 6/2/2020 – Cal-con working on pressure switches, cleaned out PDU for press
- 6/3/2020 – R.F. MacDonald in for annual boiler service. Cal-con in working on meter calibrations within the plant. Vibration fault on the Neuros blowers had to reach out to Neuros folks.
- 6/4/2020 – R.F. MacDonald back for annual work on second boiler. Cal-con back doing calibrations. Dynamic fuel solutions here to test diesel vaults at the plant and Portola.
- 6/8/2020 – Primary sampler failed, we had a backup on the shelf, internal gear issue.
- 6/11/2020 – Cal-con (Trevor) working on plc issues
- 6/14/2020 – Flare failed, able to reset
- 6/15/2020 – Work on cleaning channel between old aeration basins so that isolation gate can be replaced.
- 6/17/2020 – Cleaned contact basin.
- 6/22/2020 – Ferric delivery at the plant, Cal-con in working on gas detectors in the digester control building.
- 6/24/2020 – Did a confined space on digester with a contractor to check on coatings.
- 6/25/2020 – Crane people here for annual certifications on cranes. Cal-con back working on gas detectors in digester control building. Peninsula Pump was in to swap motor at Princeton Pump Station. Motor needs to be rewound.
- 6/26/2020 – Calcon in working on gas detector system, cleaned inline DO meter.
- 6/30/2020 – Work on cyclone grit separator, overflowing for some reason.

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Other activities are listed below;

There were 9 deliveries (approximately 3,100 gallons) of trucked waste discharged at the SAM Plant for a total revenue of \$ 310.00. There were 228 leachate deliveries to the SAM IPS line in the month of June, for a total leachate volume of 1,332,800 gallons.

The NPDES data report for June 2020 is attached reference (Attachment B).

Contract Collection Services

The SAM crew cleaned 35,180 feet of sewer line and responded to 16 service calls in contract service areas. 6 were sewer line related and 10 were maintenance service calls. Six of the callouts were during regular business hours and ten were after hours. One was in the HMB service area, three were in the GCSD service area, and the remaining twelve were in the MWSD service area.

HMB – The service call in the HMB area was as follows, 6/17 – Back up at Stone Pine, crew checked main and was instructed not to clean main line by Mark Thomas as there was flow, instructed Andrew, Pharmacist at Half Moon Bay Pharmacy to contact a plumber to resolve issue.

No maintenance service calls for the month of June 2020

GCSD – The service calls in the GCSD area were as follows – 6/15 - Main line blockage causing backup in shower, main was cleaned to clear blockage, crew went back following day to televise and could find no issues, could have just been low flow / TP paper build up. 6/17 Owner called with questions about a clean out that they recently exposed 5 feet down, owner thinking of replacing lateral and wanted to know if district would assist in cost, deferred to district.

The maintenance call in GCSD was on 6/18. Home owner next to Naples Beach Lift station called about the loud generator, not much we can do about the noise. Perhaps a sound wall might help, or a new sound attenuated generator.

MWSD – The sewer related calls in the MWSD area was as follows;
6/11 – District asked us to investigate a sinkhole, televised from the lateral towards the house ran into a bunch of roots, determined to be owner issue.

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6/19 - Owner called about an odor, crew arrived and could not detect anything. They discussed with homeowner who just wanted to confirm it wasn't sewage. No further action taken. 6/19 - Crew called for backup, cleanout had standing water. Main line was cleaned and the lateral still had standing water. R.P. was instructed to contact a roofer company to clear blockage.

There were 9 maintenance service calls in MWSD area this month, they were as follows; 6/8 - Vallemar Pump # 1 was not pumping, put # 2 pump in lead, contacted Peninsula Pump to assist. Peninsula Pump had to bring back to shop to clear and returned pump following day. 6/9 - Called from MWSD to investigate water leak, it was a line from a grinder pump that the district assists with in the Seal Cove area. The area was excavated and the line repaired. 6/16 - 5th Street Lift Station alarm call from Hue and Cry, upon arrival no alarms were showing. Contacted Hue and Cry to confirm location, confirmed. Checked station for normal operation before exiting. 6/28 - Kanoff alarm, phase monitor fault, could be due to wind and power fluctuation. Reset pumps checked for normal operation, generator did not run. 6/29 - Kanoff alarm, phase monitor fault, could be due to wind and power fluctuation. Reset pumps checked for normal operation, generator did not run. Noise was observed coming from transformer on pole. 6/29 - Kanoff alarm, phase monitor fault, more power fluctuations. Reset pumps checked for normal operation, generator did not run. Buzzing noise was observed coming from transformer on pole still. 6/29 - Kanoff alarm, phase monitor fault, station trouble, station fault. Reset pumps checked for normal operation, generator did not run. Buzzing noise was observed coming from transformer on pole still. 6/30 - Kanoff alarm, phase monitor fault, generator did not run. PG & E is aware of issue and is scheduling repairs to be made on the utility power pole. 6/30 - Kanoff alarm, phase monitor fault, generator did not run. PG & E is aware of issue and is scheduling repairs to be made on the utility power pole. (PG & E did repair work on 7/1/2020).

The June 2020 collection system data report is provided for the Board's information. There were no Category 1's, no Category 2's, and no Category 3's SSO during the month of June 2020.

Staff Recommendation

Staff recommends that the Board receive the Manager's Report for June 2020.

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Supporting Documents

- Attachment A: Monthly Flow Report June 2020
- Attachment B: Monthly NPDES Report June 2020
- Attachment C: Collection System Data June 2020
- Attachment D: Contract Collection Services Report June 2020

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Attachment A

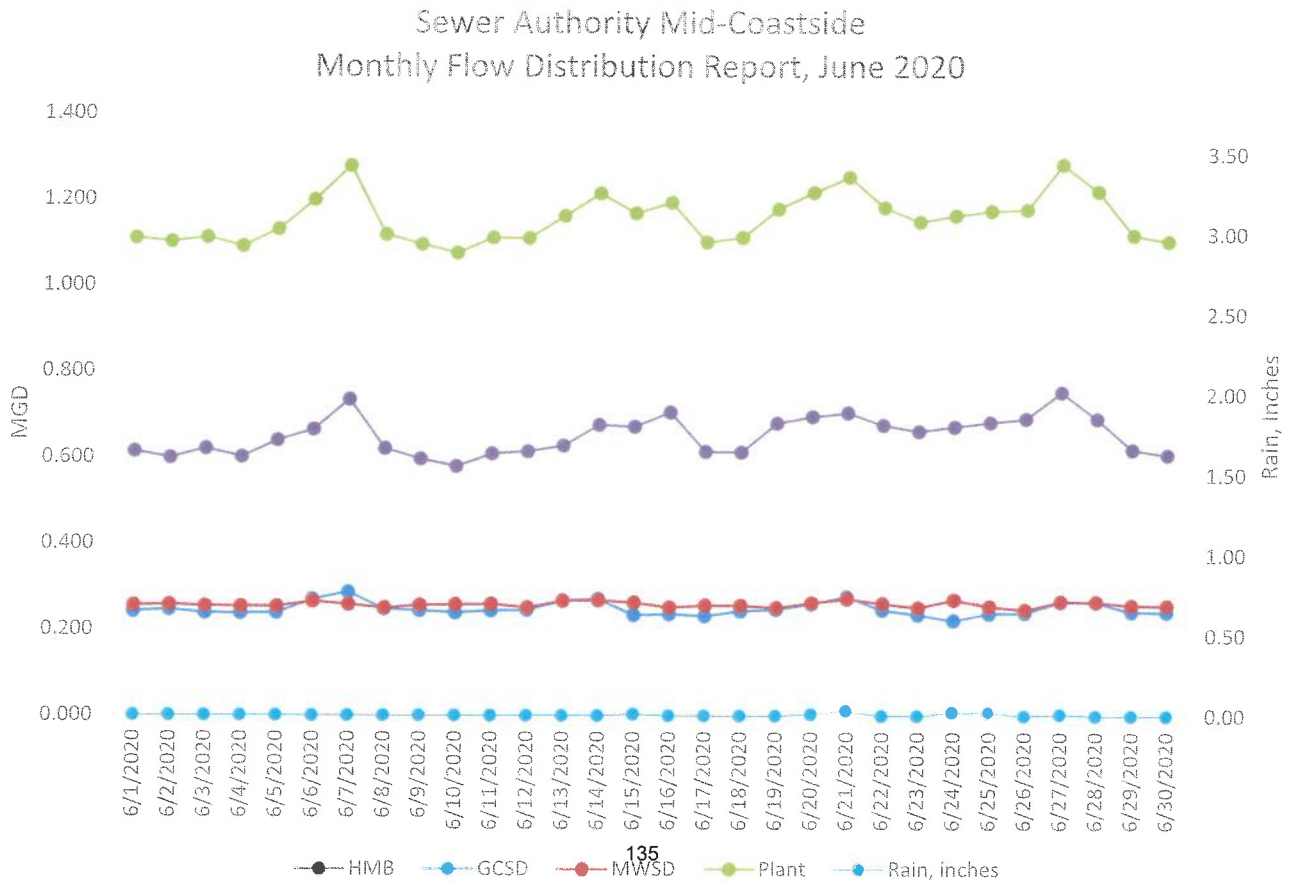
Flow Distribution Report Summary for June 2020

The daily flow report figures for the month of June 2020 have been converted to an Average

Daily Flow (ADF) for each Member Agency.
The results are attached for your review.

The summary of the ADF information is as follows:

	<u>MGD</u>	<u>%</u>
The City of Half Moon Bay	0.651	56.3%
Granada Community Services District	0.248	21.4%
Montara Water and Sanitary District	<u>0.258</u>	<u>22.3%</u>
Total	1.157	100.0%



Sewer Authority Mid-Coastside

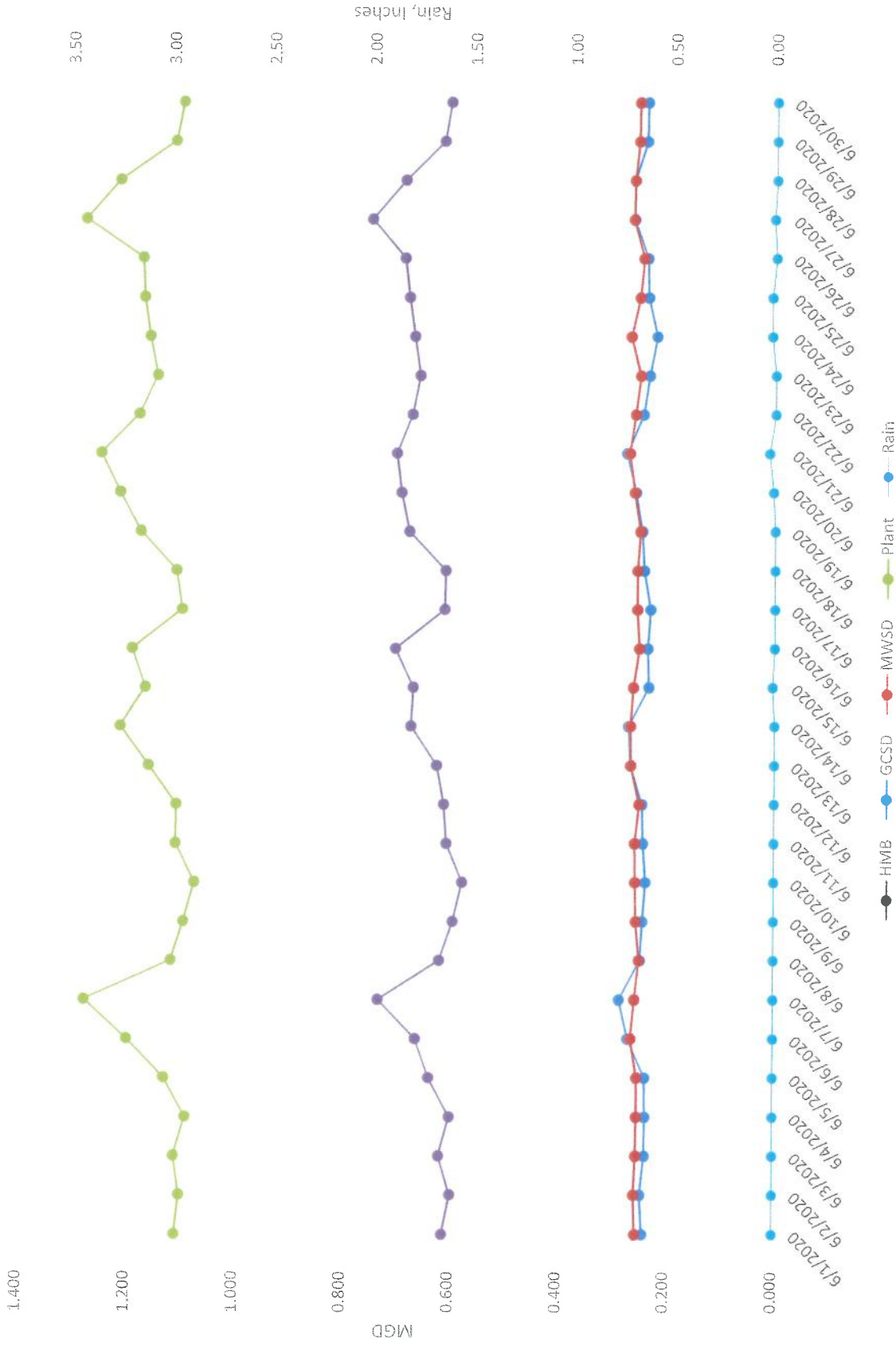
Monthly Flow Distribution Report for June 2020

<u>Date</u>	<u>HMB</u>	<u>GCSD</u>	<u>MWSD</u>	<u>Plant</u>	<u>Rain Plant</u>	<u>Rain Portola</u>	<u>Rain Montara</u>
6/1/2020	0.613	0.241	0.255	1.109	0.00	0.00	0.00
6/2/2020	0.599	0.245	0.257	1.101	0.00	0.00	0.00
6/3/2020	0.620	0.238	0.254	1.112	0.00	0.00	0.00
6/4/2020	0.601	0.237	0.253	1.091	0.00	0.00	0.00
6/5/2020	0.639	0.238	0.253	1.131	0.00	0.00	0.00
6/6/2020	0.665	0.270	0.265	1.200	0.00	0.00	0.00
6/7/2020	0.735	0.286	0.258	1.279	0.00	0.00	0.00
6/8/2020	0.621	0.248	0.250	1.119	0.00	0.00	0.00
6/9/2020	0.597	0.244	0.256	1.096	0.00	0.00	0.00
6/10/2020	0.579	0.239	0.258	1.076	0.00	0.00	0.00
6/11/2020	0.609	0.244	0.259	1.112	0.00	0.00	0.00
6/12/2020	0.614	0.245	0.251	1.111	0.00	0.00	0.00
6/13/2020	0.628	0.268	0.267	1.162	0.00	0.00	0.00
6/14/2020	0.676	0.271	0.268	1.215	0.00	0.00	0.00
6/15/2020	0.672	0.234	0.263	1.169	0.01	0.00	0.00
6/16/2020	0.706	0.236	0.252	1.194	0.00	0.00	0.00
6/17/2020	0.614	0.231	0.256	1.102	0.00	0.00	0.00
6/18/2020	0.613	0.244	0.256	1.112	0.00	0.00	0.00
6/19/2020	0.681	0.247	0.251	1.179	0.00	0.00	0.00
6/20/2020	0.696	0.260	0.262	1.218	0.01	0.01	0.01
6/21/2020	0.705	0.277	0.272	1.253	0.03	0.01	0.00
6/22/2020	0.676	0.246	0.261	1.183	0.00	0.00	0.00
6/23/2020	0.662	0.236	0.252	1.150	0.00	0.00	0.00
6/24/2020	0.673	0.222	0.270	1.164	0.02	0.01	0.00
6/25/2020	0.683	0.238	0.254	1.175	0.02	0.02	0.02
6/26/2020	0.691	0.240	0.247	1.178	0.00	0.00	0.00
6/27/2020	0.753	0.265	0.266	1.284	0.01	0.00	0.00
6/28/2020	0.691	0.265	0.265	1.221	0.00	0.00	0.00
6/29/2020	0.619	0.242	0.257	1.119	0.00	0.00	0.00
6/30/2020	0.607	0.241	0.256	1.105	0.00	0.00	0.00
Totals	19.537	7.437	7.744	34.718	0.10	0.05	0.03

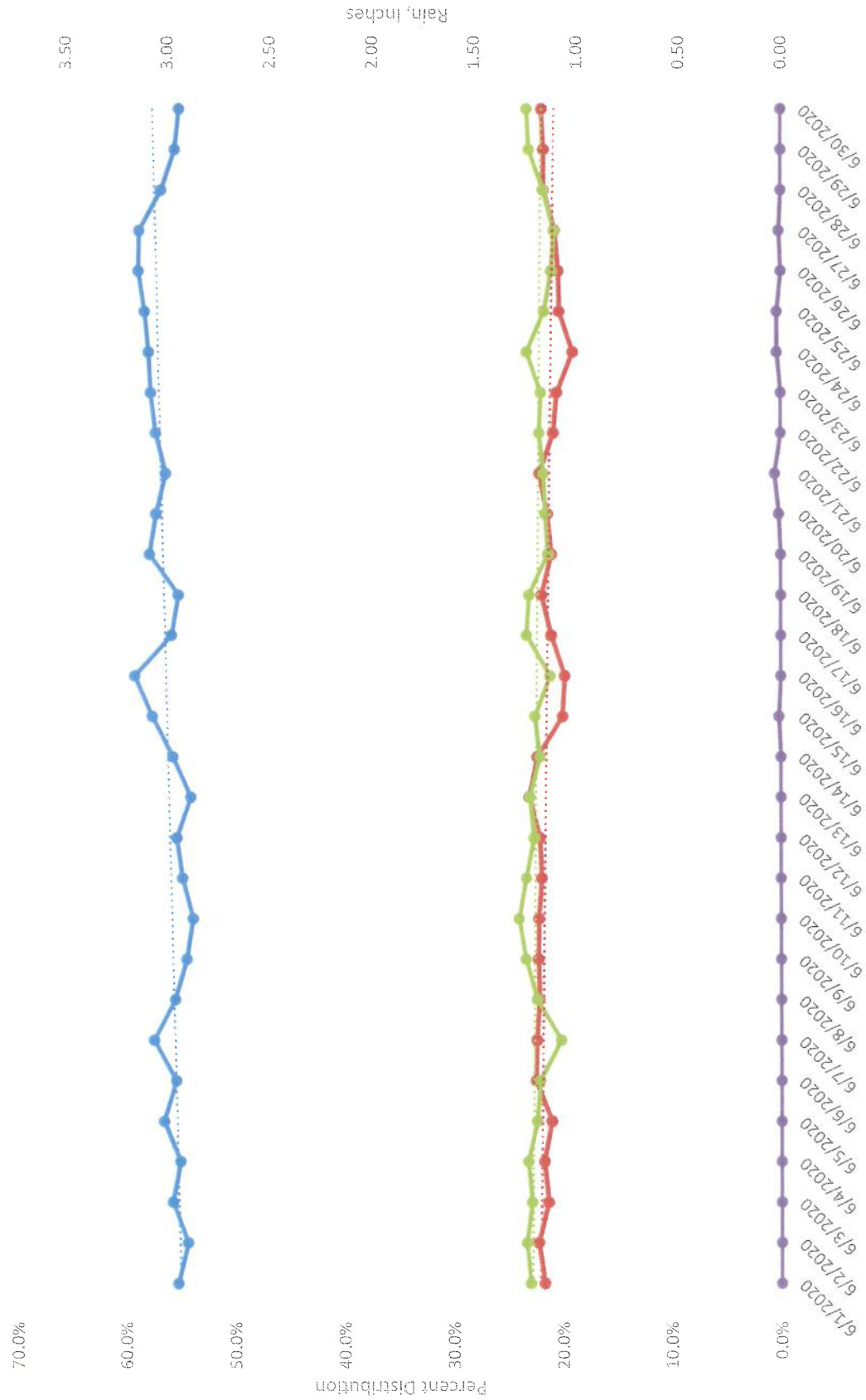
Summary

	<u>HMB</u>	<u>GCSD</u>	<u>MWSD</u>	<u>Plant</u>
Minimum	0.579	0.222	0.247	1.076
Average	0.651	0.248	0.258	1.157
Maximum	0.753	0.286	0.272	1.284
Distribution	56.3%	21.4%	22.3%	100.0%

Sewer Authority Mid-Coastside Monthly Flow Distribution Report, June 2020

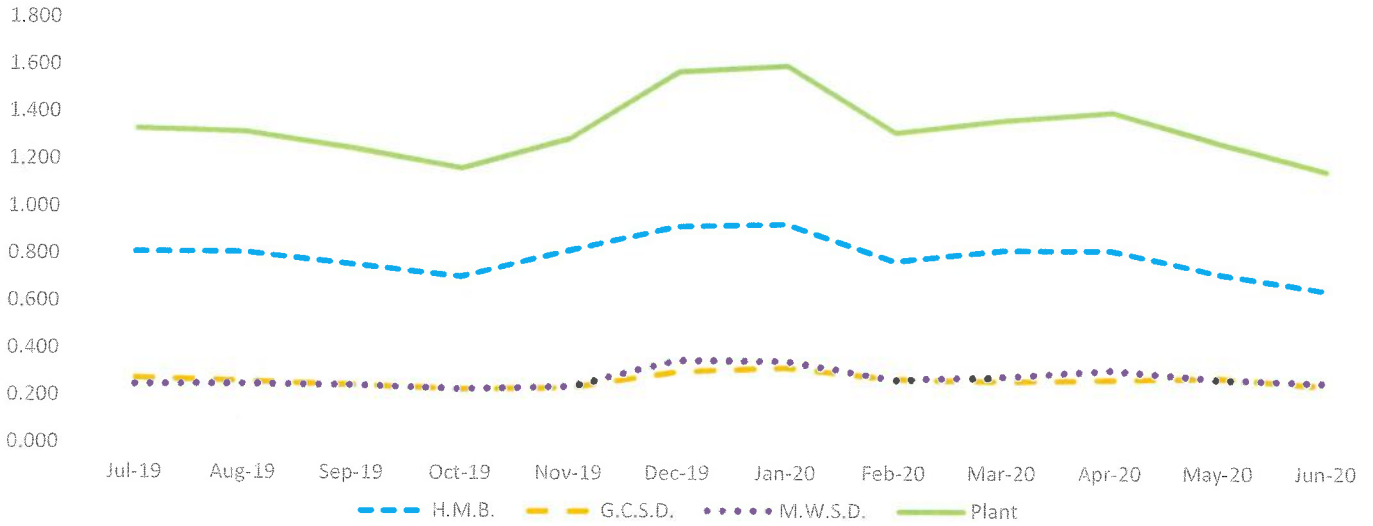


Percent Distribution June 2020

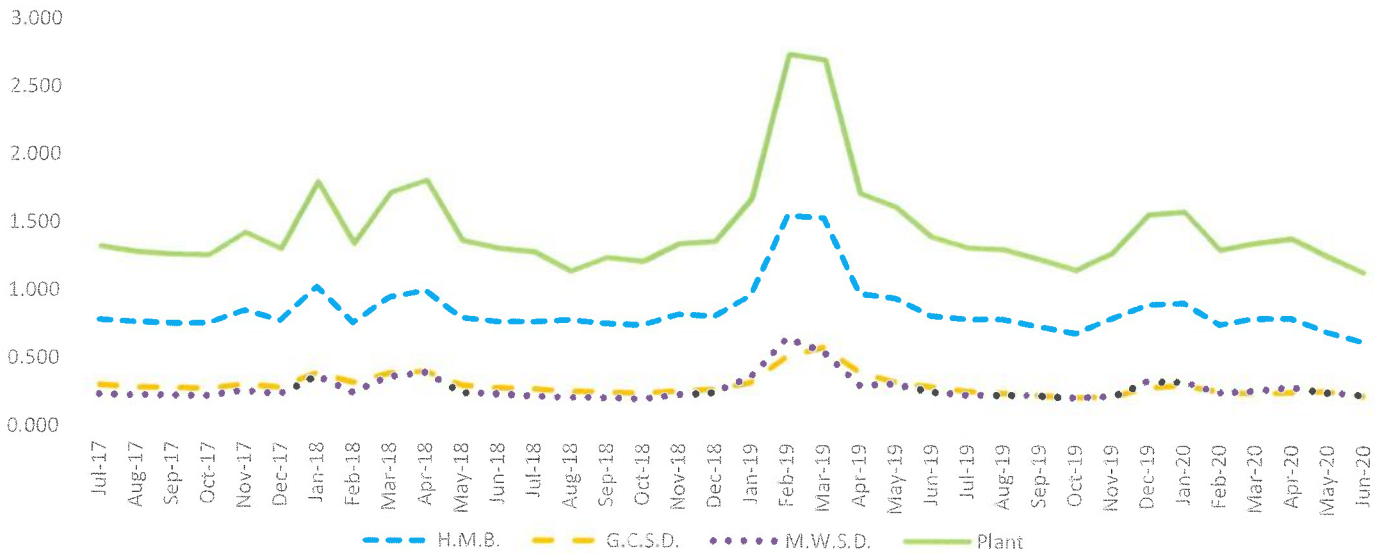


Most recent flow calibration September 2019 PS, September 2019 Plant

One Year Flow Chgart July 2019 - June 2020

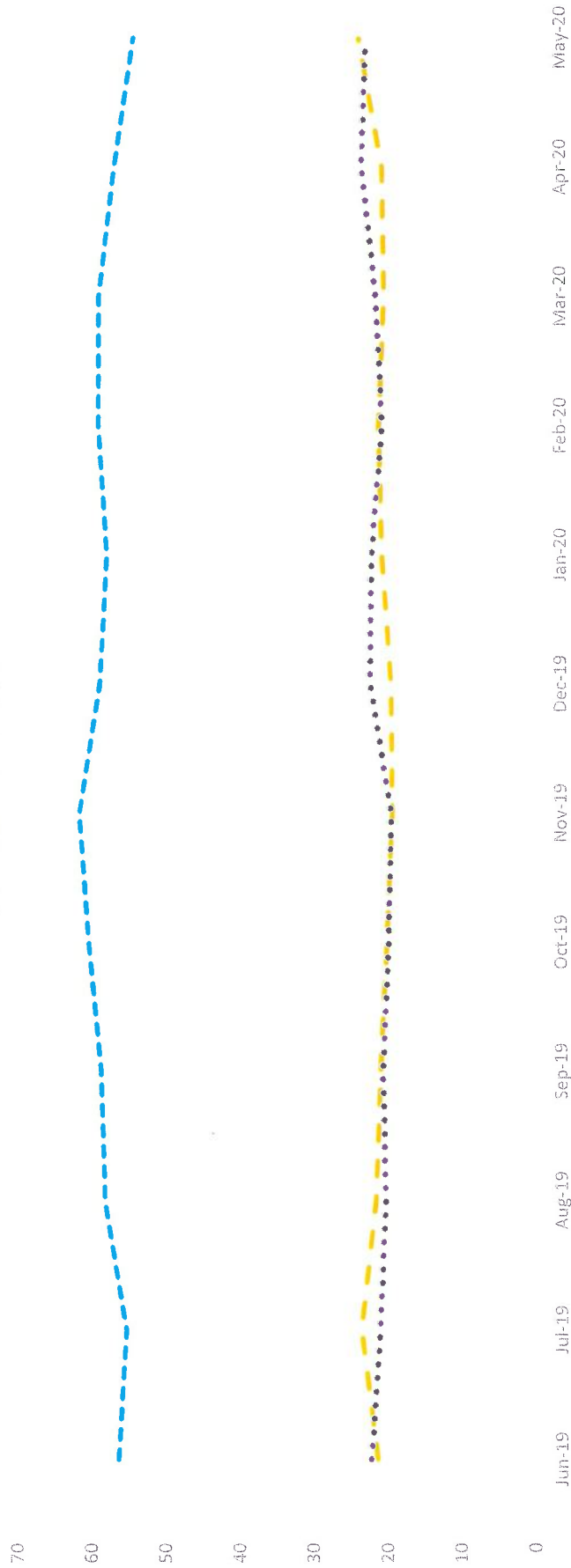


Three Year Flow Chart July 2017 - June 2020



Flow based percent distribution based for past year

1 year Distribution by %
July 2019 - June 2020



SAM E-001 June 2020

Date	Inf TSS mg/l	Eff TSS mg/l	Eff TSS Weekly Avg	TSS % Removal	Inf BOD mg/l	Eff BOD mg/l	Eff BOD Weekly Avg mg/l
6/1/2020							
6/2/2020	320	6.20		98.1%	470	16	
6/3/2020	360	7.50		97.9%	220	24.0	
6/4/2020							
6/5/2020							
6/6/2020			6.85				20.00
6/7/2020							
6/8/2020							
6/9/2020							
6/10/2020	320	12.00		96.3%	370	20.0	
6/11/2020	340	10.00		97.1%	420	16.0	
6/12/2020							
6/13/2020			11.00				18.00
6/14/2020	300	6.60		97.8%	430	13.0	
6/15/2020	310	5.80		98.1%	460	7.6	
6/16/2020							
6/17/2020							
6/18/2020							
6/19/2020							
6/20/2020			6.20				10.30
6/21/2020							
6/22/2020	330	5.10		98.5%	370	17.0	
6/23/2020	400	5.80		98.6%	440	13.0	
6/24/2020							
6/25/2020							
6/26/2020							
6/27/2020			5.45				15.00
6/28/2020							
6/29/2020							
6/30/2020	350	6.40		98.2%	410	15.0	
Count	9	9	4	9	9	9	4
Minimum	300	5.10	5.45	96.3%	220	7.6	10.3
Average	337	7.27	7.38	97.8%	399	15.7	15.8
Maximum	400	12.00	11.00	98.6%	470	24.0	20.0
Percent Removal				85			
5 Sample Median							
High							
Low							
Daily Max							
Weekly Max			45				45
Monthly Average		30				30	

SAM E-001 June 2020

Date	BOD % Removal	Eff Setttable Matter mg/l	Eff Setttable Matter Weekly Avg mg/l	Eff Turbidity NTU	Eff Turbidity Weekly Avg NTU	Chlorine Residual Day Max
6/1/2020						0.00
6/2/2020	96.6%	0.34		5.10		0.00
6/3/2020	89.1%	ND		6.20		0.00
6/4/2020						0.00
6/5/2020						0.00
6/6/2020			< 0.17		5.65	0.00
6/7/2020						0.00
6/8/2020						0.00
6/9/2020						0.00
6/10/2020	94.6%	ND		9.5		0.00
6/11/2020	96.2%	ND		9.5		0.00
6/12/2020						0.00
6/13/2020			ND		9.50	0.00
6/14/2020	97.0%	ND		5.80		0.00
6/15/2020	98.3%	ND		5.90		0.00
6/16/2020						0.00
6/17/2020						0.00
6/18/2020						0.00
6/19/2020						0.00
6/20/2020			ND		5.85	0.00
6/21/2020						0.00
6/22/2020	95.4%	ND		4.50		0.00
6/23/2020	97.0%	ND		4.30		0.00
6/24/2020						0.00
6/25/2020						0.00
6/26/2020						0.00
6/27/2020			ND		4.40	0.00
6/28/2020						0.00
6/29/2020						0.00
6/30/2020	96.3%	ND	ND	6.70		0.00
Count	9	1	1	9	4	30
Minimum	89.1%	0.3	ND	4.30	4.40	0.0
Average	95.6%	0.34	0.09	6.39	6.35	0.0
Maximum	98.3%	0.3	0.17	9.50	9.50	0.0
Percent Removal	85					
5 Sample Median						
High						
Low						
Daily Max				225		4.8
Weekly Max					100	
Monthly Average				75		

SAM E-001 June 2020

Date	Chlorine time Minutes	Ammonia Nitrogen Distilled mg/l	Eff pH	Eff Temp	Enterococci MPN	30 day geo mean	Eff DO mg/l	Eff DO % Saturation
6/1/2020	0.00		7.40	20.7			6.45	71.6
6/2/2020	0.00		7.36	20.8			5.79	64.5
6/3/2020	0.00	60.0	7.45	21.5	ND		6.10	69.1
6/4/2020	0.00		7.44	21.4			6.46	73.1
6/5/2020	0.00		7.45	21.0			6.88	77.1
6/6/2020	0.00		7.65	21.1		ND	7.35	82.6
6/7/2020	0.00		7.35	21.3			5.50	62.0
6/8/2020	0.00		7.36	20.7			6.23	69.4
6/9/2020	0.00		7.43	20.9			6.52	73.0
6/10/2020	0.00		7.56	21.5			6.54	73.8
6/11/2020	0.00	62.0	7.49	20.9	ND		6.96	78.0
6/12/2020	0.00		7.50	21.6			7.32	83.1
6/13/2020	0.00		7.52	21.7		ND	6.95	79.0
6/14/2020	0.00		7.32	21.6			5.22	59.1
6/15/2020	0.00	47.0	7.45	21.2	ND		6.89	77.5
6/16/2020	0.00		7.25	21.5			5.97	67.0
6/17/2020	0.00		7.46	21.5			6.54	74.0
6/18/2020	0.00		7.43	21.4			6.80	76.9
6/19/2020	0.00		7.38	21.3			6.39	72.3
6/20/2020	0.00		7.52	21.4		ND	6.75	76.4
6/21/2020	0.00		7.30	21.6			5.54	62.4
6/22/2020	0.00		7.12	21.0			6.81	76.4
6/23/2020	0.00	44.0	7.06	21.0	ND		6.40	71.7
6/24/2020	0.00		7.48	21.6			6.45	73.0
6/25/2020	0.00		7.38	21.2			6.64	74.6
6/26/2020	0.00		7.48	21.2			7.15	80.7
6/27/2020	0.00		7.50	21.6		ND	6.80	77.2
6/28/2020	0.00		7.33	21.5			5.83	65.8
6/29/2020	0.00		7.23	20.9			6.66	75.4
6/30/2020	0.00		7.22	21.4			5.82	65.7
Count	30	4	30	30	0	0	30	30
Minimum	0.00	44.0	7.06	20.7	< 0	< 0	5.22	59.1
Average	0.0	53.3	7.40	21.3	< ND	< ND	6.46	72.7
Maximum	0.00	62.0	7.65	21.7	0	< 0	7.35	83.1
Percent Removal								
5 Sample Median						2,800		
High			9					
Low			6					
Daily Max					8,300			
Weekly Max								
Monthly Average								

Sewer Authority Mid-Coastside

Monthly Collection System Activity/SSO Distribution Report, June 2020

June 2020

	Number of S.S.O.'s				
	Total	HMB	GCSD	MWSD	SAM
Roots	0	0	0	0	0
Grease	0	0	0	0	0
Mechanical	0	0	0	0	0
Wet Weather	0	0	0	0	0
Other	0	0	0	0	0
Total	0	0	0	0	0

12 Month Moving Total

	12 month rolling Number				
	Total	HMB	GCSD	MWSD	SAM
Roots	0	0	0	0	0
Grease	0	0	0	0	0
Mechanical	1	1	0	0	0
Wet Weather	0	0	0	0	0
Other	2	0	1	0	1
Total	3	1	1	0	1
		33%	33%	0%	33%

Reportable SSOs

	Reportable Number of S.S.O.'s				
	Total	HMB	GCSD	MWSD	SAM
June 2020	0	0	0	0	0
12 Month Moving Total	3	1	1	0	1

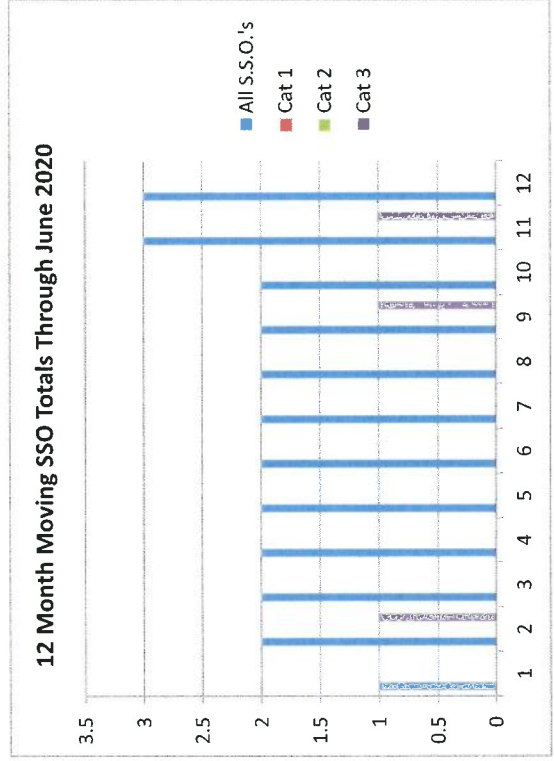
SSOs / Year / 100 Miles

	Number of S.S.O.'s / Year / 100 Miles				
	Total	HMB	GCSD	MWSD	SAM
June 2020	0.0	0.0	0.0	0.0	0.0
12 Month Moving Total	2.9	2.7	3.0	0.0	13.7
Category 1	0.0	0.0	0.0	0.0	0.0
Category 2	0.0	0.0	0.0	0.0	0.0
Category 3	2.9	2.7	3.0	0.0	13.7
Miles of Sewers	104.5	37.0	33.2	27.0	7.3
		35.4%	31.8%	25.8%	7.0%

12 Month Rolling Total Sewer Cleaning Summary

Month	HMB	GCSD	MWSD	Total Feet	Total Miles
July - 19	8,754	18,560	9,511	36,825	7.0
Aug - 19	8,042	22,405	15,720	46,167	8.7
Sept - 19	7,292	18,063	11,618	36,973	7.0
Oct - 19	16,104	14,144	13,611	43,859	8.3
Nov - 19	6,171	23,308	10,135	39,614	7.5
Dec - 19	6,660	18,277	9,422	34,359	6.5
Jan - 20	6,947	11,809	11,218	29,974	5.7
Feb - 20	7,403	7,463	10,503	25,369	4.8
Mar - 20	10,957	11,948	10,023	32,928	6.2
Apr - 20	9,893	10,803	10,420	31,116	5.9
May - 20	10,453	12,618	10,308	33,379	6.3
June - 20	11,026	17,691	6,463	35,180	6.7
Annual ft	109,702	187,089	128,952	425,743	
Annual Mi.	20.8	35.4	24.4		80.6

Attachment C



TASK SUMMARY - GCSD 2019-2020

Task	Target Total	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Total to Date	% Complete
Sewer Line Cleaning	174,000	16,438	20,458	16,236	11,900	22,335	15,530	9,682	5,648	9,322	8,629	11,150	12,338	159,666	92%
Hot Spot Cleaning	5,400	2,122	1,947	1,827	2,244	986	2,747	2,122	1,815	2,619	2,172	986	3,278	24,865	460%
Lift Station Inspection - Daily	260	22	23	20	22	18	19	21	19	21	22	20	21	248	0%
Lift Station Inspection - Annually	3	-	-	-	-	-	-	-	-	-	-	-	-	-	0%
Maint. Work Orders - Completed	-	22	16	13	18	18	19	21	19	21	22	20	21	230	-
Maint. Work Orders - Incomplete	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Manhole Inspection	879	89	118	101	78	107	93	59	54	66	69	74	85	993	113%
USA Markings	372	52	52	50	44	29	29	52	33	42	30	46	100	559	150%
F.O.G. Inspections Completed	10	-	-	-	-	-	-	-	-	-	-	-	-	-	0%
F.O.G. Inspections Passed	10	-	-	-	-	-	-	-	-	-	-	-	-	-	0%
F.O.G. Inspection Failed	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Lateral Inspections	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Customer Service Call - Reg	-	2	1	1	2	1	1	-	3	1	-	1	2	15	-
Customer Service Call - OT	-	2	1	1	3	1	2	1	1	-	-	2	1	15	-
SSO Response - Category 1	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
SSO Response - Category 2	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
SSO Response - Category 3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Insurance Claims Filled	-	0	0	0	0	0	0	0	0	0	0	0	0	1	-

ITEM #5



GRANADA COMMUNITY SERVICES DISTRICT

MINUTES BOARD OF DIRECTORS SPECIAL AND REGULAR MEETINGS

July 16, 2020

THIS MEETING WAS HELD VIA TELE- CONFERENCE AS PERMITTED BY STATE EXECUTIVE ORDER N-29-20.

CALL SPECIAL MEETING TO ORDER

The Special Meeting was called to order at 6:30 pm.

ROLL CALL

President Barbara Dye, Vice President Matthew Clark, Director Jim Blanchard, Director David Seaton, and Director Eric Suchomel.

Staff: General Manager Chuck Duffy, District Counsel Bill Parkin, and in Open Session only, Assistant General Manager Delia Comito, and Parks and Rec Coordinator Claudia Marshall.

ADJOURN TO CLOSED SESSION

1. Conference with Legal Counsel – Existing Litigation (Government Code Section §54956.9(d)(1)).

City of Half Moon Bay v. Granada Community Services District and Montara Water and Sanitary District (RPI, Sewer Authority Mid-Coastside) – Santa Clara County Superior Court Case No. 17CV316927.

2. Conference with Legal Counsel—Existing Litigation (Government Code §54956.9(d)(1)).

Saxton v. Granada Community Services District (EEOC No. 550-2020-00699).

3. Conference with Real Property Negotiator (Government Code Section 54956.8). Property: 531 Obispo Road, El Granada, California.

District's Negotiator: Chuck Duffy

Negotiating parties: Coastside Fire Protection District and Granada Community Services District

Under negotiation: Instruction to negotiator will concern price and terms of payment.

RECONVENE TO OPEN SESSION

There was no reportable action taken in Closed Session.

ADJOURN SPECIAL MEETING

CALL REGULAR MEETING TO ORDER

The Regular Meeting was called to order at 7:32 pm.

ROLL CALL

GENERAL PUBLIC PARTICIPATION

None.

ACTION AGENDA

1. Report from County of San Mateo Parks Director Nicholas Calderon on Proposed Quarry Park Bike Pump Track.

Nicholas Calderon from San Mateo County Parks provided the Board with an update on the status of the pump track project in Quarry Park. He said progress has been delayed due to Covid-19, and no timeline has been set.

2. Report on Proposed Burnham Park Preliminary Design and Next Steps.

Tom Conroy of Kikuchi & Kankel explained what the District should expect under the CEQA and CDP review processes for the project, and indicated the need for an expedited biological resources report to incorporate any site constraints that might arise from the report finding.

3. Report on Parks and Recreation Activities.

Claudia Marshall reported on the mailing of the Burnham Park Preliminary Master Plan postcard to District residents asking for feedback, and that a sign will be erected on the Burnham Park site containing project information. She also reported that kids were enjoying the district sponsored workshops which started this week.

Nancy Marsh reported on very positive comments coming in from residents on the Burnham Park plan, and reviewed some concerns from PAC Member Pat Tierney.

4. Public Hearing: Consideration of a Resolution Adopting the Sewer Service Charge and Delinquent Garbage Account Reports and Authorizing the Collection of Said Charges on the FY 2020/21 San Mateo County Tax Roll.

President Dye opened the public hearing. There was no public comment, and staff reported that no written public comment was received. President Dye closed the public hearing.

ACTION: Director Suchomel moved to approve the Resolution adopting the reports and placement on the tax roll. (Res. 2020-004). (Suchomel/Clark). Approved 5-0.

5. Consideration of Policy and Resolution for the Statewide November 3, 2020 General Election.

Director Seaton suggested that there might be more candidates for the available seats if the District paid for the candidate statement.

ACTION: Director Suchomel moved to approve the Resolution for the General Election with approval of a 200-word campaign statement limit, and to provide that the District will pay the cost of the candidate statement. (Res. 2020-005). (Suchomel/Clark). Approved 5-0.

6. Approval of Resolution Directing Making of Amended Noncontingent Assessments Re Certain Such Reassessments Under Resolution of Intention No. 2003-008, Sewage Treatment Facility Improvements Integrated Financing District.

ACTION: Director Clark moved to approve the Resolution. (Res. 2020-006). (Clark/Suchomel). Approved 5-0.

7. Consideration of Sewer Authority Mid-Coastside Report.

Director Dye reported on the June 22nd and the July 13th SAM meetings.

CONSENT AGENDA

8. Approve June 18, 2020 Special and Regular Meeting Minutes.

9. Approve July 2020 Warrants.

10. Approve May 2020 Financial Statements.

11. Approve Assessment District Distribution #1-20/21.

ACTION: Director Clark moved to approve the Consent Agenda. (Clark/Suchomel). Approved 5-0.

COMMITTEE REPORTS

12. Report on seminars, conferences, or committee meetings.

None.

INFORMATION CALENDAR

13. Attorney's Report. (Parkin)

14. General Manager's Report. (Duffy)

15. Administrative Staff Report. (Comito)

16. Engineer's Report. (Kennedy Jenks)

17. Future Agenda Items.

ADJOURN REGULAR MEETING

The Regular Meeting was adjourned at 9:13 pm.

ATTEST:

SUBMITTED BY:

Delia Comito, Board Secretary

Chuck Duffy, General Manager

Date Approved by Board: August 20, 2020

ITEM #6

Granada Community Services District

August 2020 Warrants

For the August 20, 2020 Board of Director's Meeting

Date	Num	Name	Memo	Account	Amount
08/20/20	8475	Andreini Brothers	MH Repairs (Miramar & Princeton)	5050 · System Repairs	4,005.13
08/20/20	8476	AT&T	Jul/Aug 2020-Pump Stn Alarm	6170 · Utilities	201.90
08/20/20	8477	Barbara Dye	07/16/20 GCSD, 07/13 & 07/27/20 SAM	6040 · Directors' Compensation	235.00
08/20/20	8478	Comcast	07/13/20-08/12/20 Svcs	6170 · Utilities	237.61
08/20/20	8479	David Seaton	07/16/20 GCSD	6040 · Directors' Compensation	145.00
08/20/20	8480	Dudek	11/30/19-12/27/19 Prof. Svcs	6150 · Professional Services	2,517.50
08/20/20	8481	Employment Development Dept	Claim Liab Ltr dtd 08/05/20	6220 · Miscellaneous	952.00
08/20/20	8482	Eric Suchomel	07/16/20 GCSD	6040 · Directors' Compensation	145.00
08/20/20	8483	Express Plumbing	Medio Creek Maint & Mon-August	1617-1 · Medio Creek Xing/Mirada Sewe	975.00
08/20/20	8484	Gaetani Real Estate	Sep 2020	6120 · Office Lease	4,450.00
08/20/20	8485	Half Moon Bay Review	SSC Hearing Notice	6160 · Publications & Notices	378.00
08/20/20	8486	Hue & Cry, Inc.	Sep 2020 Pump Stn Alarm	6170 · Utilities	32.65
08/20/20	8487	Jim Blanchard	07/16/20 GCSD, 07/13 & 07/27/20 SAM	6040 · Directors' Compensation	235.00
08/20/20	8488	Kennedy Jenks	Jul 2020 Svcs, Sum 159	6071 · Engineering Services	23,103.88
08/20/20	8489	Kikuchi & Kankel Design Grp	Inv dtd 08/06/20	5130 · Parks & Rec Professional	3,260.00
08/20/20	8490	Matthew Clark	07/16/20 GCSD	6040 · Directors' Compensation	145.00
08/20/20	8491	Pacifica Community TV	06/18/20 GCSD	6180 · Video Taping	300.00
08/20/20	8492	PG&E	Pump Stn Inv dtd 07/16/20	6170 · Utilities	309.48
08/20/20	8493	PGE	Office Inv dtd 07/23/20	6170 · Utilities	31.27
08/20/20	8494	Pitney Bowes	Inv dtd 07/31/20	6140 · Office Supplies	62.93
08/20/20	8495	Richards, Watson & Gershon	Inv dtd 06/30/20	6090 · Legal Services	1,590.00
08/20/20	8496	Sewer Authority Mid-Coastside	Aug 2020 Asmts	5020 · SAM-Admin/Treat/Env/Inf/Coll	147,989.91
08/20/20	8497	Tri Counties Bank	Jul 2020 Card Charges	6140 · Office Supplies	1,354.58
08/20/20	8498	US Bank	Aug 2020 Svcs	6020 · Copier Lease	355.63
08/20/20	8499	Verizon Wireless	Jul 2020	6170 · Utilities	109.36
08/20/20	8500	Victoria L. Rudolph	Class Instructor Fees	6310 · Park Related Misc Expenses	1,275.00
08/20/20	8501	White Nelson Diehl Evans	Jul 2020	6152 · Accounting	2,500.00
08/20/20	8502	Wittwer & Parkin	Jul 2020 Svcs	6090 · Legal-Gen/IPS/Parks/Big Wave	2,606.50
TOTAL					199,503.33

ITEM #7

Granada Community Services District
Statement of Net Position (Unaudited)

As of June 30, 2020

ASSETS

Current Assets

Checking/Savings

1020 · Petty Cash	790
1030 · Cash - LAIF	4,380,942
1040 · Tri Counties Bank - Gen Op	127,372
1050 · Tri Counties Bank - Deposit	37,755

Accounts Receivable

1100 · Accounts Receivable	132,069
1200 · Interest Receivable	16,169
1500 · Due from AD	15,068

Total Current Assets	4,710,166
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Fixed Assets

1600 · Land	1,063,640
1615 · Equipment	22,153
1620 · Collections System	11,217,871
1630 · Accumulated Depreciation	(6,733,955)

Total Fixed Assets	5,569,709
--------------------	-----------

Other Assets

1700 · Advance to MWSD	1,085,094
1710 · Allowance - for Advance to MWSD	(1,085,094)
1720 · Advance to AD- Bond Reserve	364,890
1730 · Advance to AD- NCA Fund	236,477
1735 · Advance to AD- Assesmnt Revenue	142,834
1740 · Security Deposit Office Lease	3,000
1750 · Investment in SAM	4,455,480
1760 · Deferred Outflows of Resources	109,305

Total Other Assets	5,311,986
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Total Assets	15,591,860
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LIABILITIES

Current Liabilities

2000 · Accounts Payable	46,912
2001 · Accrued Vacation	5,571
2020 · Class 3 Deposits	19,055
2100 · Payroll Liabilities	3,474
2225 · Recology-Del Garbage	28,640
2300 · Due to AD	15,309
2310 · Relief Refund Advance	350

Total Current Liabilities	119,311
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Long Term Liabilities

2401 · Net Pension Liability	174,065
2402 · Deferred Inflows of Resources	24,830

Total Long Term Liabilities	198,895
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Total Liabilities	318,206
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NET POSITION

3000 · Net Assets	5,687,727
3005 · Contributed Capital	9,595,349
Net Income	(9,422)

Total Net Position	\$ 15,273,654
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No assurance is provided on these financial statements.

**Granada Community Services District
Revenue & Expenses (Unaudited)
July 1, 2019 through June 30, 2020**

	Jul 1, 2019 - June 30, 2020	Expected To Date	Variance Favorable/ (Unfavorable)	FY 2019/2020 Budget
Revenues				
Operating Revenue				
4010 · Property Tax Allocation	\$ 319,232	\$ 200,000	\$ 119,232	\$ 200,000
4015 · Park Tax Allocation	648,138	450,000	198,138	450,000
4020 · Sewer Service Charges-SMC	1,407,157	1,686,000	(278,843)	1,686,000
4021 · Sewer Svc Charges Pro-rated	2,835	-	2,835	-
4030 · AD OH Reimbursement	30,668	31,000	(332)	31,000
4040 · Recology Franchise Fee	31,866	33,000	(1,134)	33,000
Total Operating Revenue	<u>2,439,896</u>	<u>2,400,000</u>	<u>39,896</u>	<u>2,400,000</u>
Non Operating Revenue				
4120 · Interest on Reserves	82,847	90,000	(7,153)	90,000
4130 · Connection Fees	39,800	55,000	(15,200)	55,000
4140 · Repayment of Adv to AD-BRA	-	-	-	-
4150 · Repayment of Adv to AD-NCA	-	195,300	(195,300)	195,300
4155 · Repayment of Adv to AD-ARF	-	114,700	(114,700)	114,700
4160 · SAM Refund from Prior Yr	-	1,000	(1,000)	1,000
4170 · ERAF Refund	360,868	300,000	60,868	300,000
4180 · Misc Income	2,850	4,000	(1,150)	4,000
Total Non Operating Revenue	<u>486,365</u>	<u>760,000</u>	<u>(273,635)</u>	<u>760,000</u>
Total Revenues	<u>2,926,261</u>	<u>3,160,000</u>	<u>(233,739)</u>	<u>3,160,000</u>
Expenses				
Operations				
5010 · SAM - General	1,165,732	1,165,732	-	1,165,732
5020 · SAM - Collections	296,201	296,201	-	296,201
5021 · Lift Station Maint.	4,413	-	(4,413)	-
5050 · Mainline System Repairs	-	10,000	10,000	10,000
5060 · Lateral Repairs	24,879	35,000	10,121	35,000
5065 · CCTV	-	25,000	25,000	25,000
5070 · Pet Waste Station	866	1,200	334	1,200
5110 · RCD - Parks	472	5,000	4,528	5,000
5120 · Half Moon Bay Reimb - Parks	-	25,000	25,000	25,000
5130 · Parks & Rec Professional Services	63,418	40,000	(23,418)	40,000
Total Operations	<u>1,555,981</u>	<u>1,603,133</u>	<u>47,152</u>	<u>1,603,133</u>

No assurance is provided on these financial statements.

**Granada Community Services District
Revenue & Expenses (Unaudited)
July 1, 2019 through June 30, 2020**

	Jul 1, 2019 - June 30, 2020	Expected To Date	Variance Favorable/ (Unfavorable)	FY 2019/2020 Budget
Expenses (Continued)				
Administration				
6010 · Auditing	\$ 12,728	\$ 15,000	\$ 2,272	\$ 15,000
6020 · Copier lease	4,882	7,000	2,118	7,000
6040 · Directors' Compensation	9,677	11,000	1,323	11,000
6050 · Education & Travel Reimb	1,538	2,000	462	2,000
6060 · Employee Compensation				
6061 · Employee Salaries	166,424	170,000	3,576	170,000
6062 · Medical Ins.	24,962	16,380	(8,582)	16,380
6063 · Employer Payroll Taxes	12,894	19,500	6,606	19,500
6064 · CALPERS Contribution	45,198	42,120	(3,078)	42,120
6060 · Employee Compensation - Other	1,829	-	(1,829)	-
6070 · Engineering Services	151,383	20,000	(131,383)	20,000
6080 · Insurance	29,881	5,000	(24,881)	5,000
6090 · Legal Services	52,820	60,000	7,180	60,000
6095 · Legal Services for Case Related Legal	-	50,000	50,000	50,000
6100 · Memberships	7,016	9,000	1,984	9,000
6110 · Newsletter	1,635	10,000	8,365	10,000
6120 · Office Lease	53,400	57,000	3,600	57,000
6130 · Office Maintenance & Repairs	4,520	2,000	(2,520)	2,000
6140 · Office Supplies	1,401	5,000	3,599	5,000
6150 · Professional Services	122,507	95,000	(27,507)	95,000
6160 · Publications & Notices	3,639	2,000	(1,639)	2,000
6170 · Utilities	9,747	10,000	253	10,000
6180 · Video Taping	4,000	4,000	-	4,000
6190 · Computers	8,051	2,500	(5,551)	2,500
6220 · Miscellaneous	10,946	15,000	4,054	15,000
6230 · Bank Service Charges	718	-	(718)	-
6310 · Park Related Misc Expenses	4,834	-	(4,834)	-
Total Administration	746,630	629,500	(117,130)	629,500
Capital Projects				
1617-1 · Medio Creek Xing Crossing	11,700	50,000	38,300	50,000
7005 · Manhole Rising	19,580	-	(19,580)	200,000
7010 · Sewer Main Replacement (CIP)	4,044	200,000	195,956	200,000
7100 · SAM - Infrastructure	587,663	587,663	-	587,663
7500 · Projects - Parks	10,085	100,000	89,915	100,000
Total Capital Projects	633,072	937,663	304,591	1,137,663
Total Expenses	2,935,683	3,170,296	234,613	3,370,296
Net Income/(Loss)	\$ (9,422)	\$ (10,296)	\$ 874	\$ (210,296)

No assurance is provided on these financial statements.

ITEM #8

DISTRIBUTION REQUEST NO.: #2-20/21
BOND ADMINISTRATION FUND
(Account Number: 94673305)

DISTRIBUTION TOTAL: \$3,505.90

\$6,100,000.00
GRANADA SANITARY DISTRICT
LIMITED OBLIGATION REFUNDING IMPROVEMENT BONDS 2003
Reassessment & Refunding Project

DISTRIBUTION REQUEST
For Payment of Bond Administration Costs

The undersigned Treasurer of the Granada Sanitary District (the "District") hereby requests of the Fiscal Agent for the District the payment of Bond Administration Costs for the items and in the manner and amount stated in the attached Schedule A, and in connection herewith hereby certifies that the payment requested is for the Administrative Costs, and that funds are available in the Bond Administration Fund (Account #94673305) to make such payment, and further states that all requirements for the payment of the amount to be disbursed pursuant hereto have been met.

Dated:
August 20, 2020

Chuck Duffy, Finance Officer/Treasurer

SCHEDULE "A"

DISTRIBUTION REQUEST NO.: #2-20/21

DATE: August 20, 2020
DISTRIBUTE FROM ACCOUNT #: 94673305
ACCOUNT NAME: Bond Administration Fund
DISTRIBUTION AMOUNT: \$ 3,505.90

PAYMENT INSTRUCTIONS: Issue checks and mail as listed below.

Payee	Mailing Address	Services Provided	Amount
dta/Asmt Engineering	5000 Birch St. #6000, Newport Beach, CA 92660	Admin Svcs-Jan 2020	\$ 384.25
dta/Asmt Engineering	5000 Birch St. #6000, Newport Beach, CA 92660	Admin Svcs-June 2020 (Portion)	\$ 954.65
GSD	P.O. Box 335, El Granada, CA 94018	GSD OH Reim - August 2020	\$ 2,167.00
TOTAL:			\$ 3,505.90

ITEM #9



PMIA/LAIF Performance Report as of 07/23/20



PMIA Average Monthly Effective Yields⁽¹⁾

Jun	1.217
May	1.363
Apr	1.648

Quarterly Performance Quarter Ended 06/30/20

LAIF Apportionment Rate ⁽²⁾ :	1.36
LAIF Earnings Ratio ⁽²⁾ :	0.000037106682614
LAIF Fair Value Factor ⁽¹⁾ :	1.004912795
PMIA Daily ⁽¹⁾ :	1.08%
PMIA Quarter to Date ⁽¹⁾ :	1.41%
PMIA Average Life ⁽¹⁾ :	191

Pooled Money Investment Account Monthly Portfolio Composition ⁽¹⁾ 06/30/20 \$101.0 billion

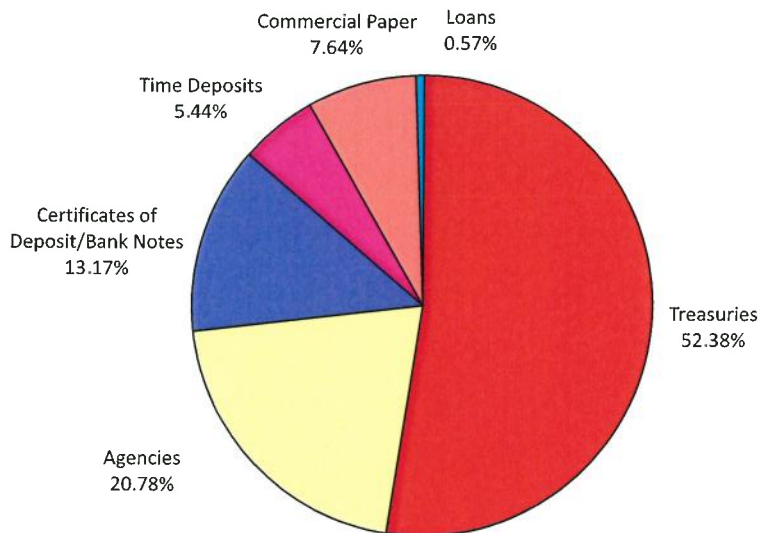


Chart does not include 0.02% of mortgages. Percentages may not total 100% due to rounding.

Daily rates are now available here. [View PMIA Daily Rates](#)

Notes: The apportionment rate includes interest earned on the CalPERS Supplemental Pension Payment pursuant to Government Code 20825 (c)(1) and interest earned on the Wildfire Fund loan pursuant to Public Utility Code 3288 (a).

Source:

⁽¹⁾ State of California, Office of the Treasurer

⁽²⁾ State of California, Office of the Controller



BETTY T. YEE

California State Controller

LOCAL AGENCY INVESTMENT FUND
REMITTANCE ADVICE

Agency Name

GRANADA COMMUNITY SRVCES DIST

Account Number

70-41-002

As of 07/15/2020, your Local Agency Investment Fund account has been directly credited with the interest earned on your deposits for the quarter ending 06/30/2020.

Earnings Ratio		.00003710668261400
Interest Rate		1.36%
Dollar Day Total	\$	402,947,752.37
Quarter End Principal Balance	\$	4,380,942.15
Quarterly Interest Earned	\$	14,952.05



BETTY T. YEE

California State Controller

LOCAL AGENCY INVESTMENT FUND
REMITTANCE ADVICE

Agency Name

GRANADA COMMUNITY SRVCES DIST

Account Number

70-41-002

As of 04/15/2020, your Local Agency Investment Fund account has been directly credited with the interest earned on your deposits for the quarter ending 03/31/2020.

Earnings Ratio		.00005535460693046
Interest Rate		2.03%
Dollar Day Total	\$	384,512,190.27
Quarter End Principal Balance	\$	4,339,657.63
Quarterly Interest Earned	\$	21,284.52

ITEM #10

GRANADA COMMUNITY SERVICES DISTRICT

AGENDA NOTICE

There are no documents for this Agenda Item.

ITEM #11

GRANADA COMMUNITY SERVICES DISTRICT

AGENDA NOTICE

There are no documents for this Agenda Item.

ITEM #12

GRANADA COMMUNITY SERVICES DISTRICT

AGENDA NOTICE

There are no documents for this Agenda Item.

ITEM #13

GRANADA COMMUNITY SERVICES DISTRICT

Administrative Staff Report

Period: July 1, 2020 to August 14, 2020
To: Board of Directors
From: Delia Comito, Assistant General Manager
Date: August 20, 2020

REQUEST FOR PUBLIC RECORDS – There was one request for public records this period:

Request Date	Requestor	Information Requested	Information Provided	Date Provided
08/11/20	Thomas Roth	GCSD CDP to CCC or HMB	Pending	Pending

APPLICATIONS RECEIVED – There was one application received this period:

Rec'd	CI	Owner/ Agent	APN	Address	Sq. Ft.	Zone
08/10/20	ADU	Minor, Bart	047-091-130	139 Vallejo St., EG	5,000	R-1/S-17

Note: Shaded information was previously reported.

PERMITS ISSUED – There were no sewer permits issued this period.

SEWER HOOK-UPS – There were no sewer hook-ups this period.

REPAIRS – There were no repairs this period.

ITEM #14

GRANADA COMMUNITY SERVICES DISTRICT

AGENDA NOTICE

There are no documents for this Agenda Item.

ITEM #15

